



**CHARTER TOWNSHIP OF CHOCOLAY**

**PLANNING COMMISSION AGENDA**

Monday, December 18, 2023 – 6:00 PM

**I. CALL TO ORDER**

**II. ROLL CALL**

Ryan Soucy (Chair)

George Meister (Vice Chair)

Donna Mullen-Campbell (Secretary)

Rebecca Sloan (Vice Secretary)

Don Rhein (Board Representative)

Stephanie Gencheff

Kendell Milton

**III. ADDITIONAL AGENDA ITEMS / APPROVAL OF AGENDA**

**IV. MINUTES**

A. November 20, 2023

**V. PUBLIC COMMENT**

Limit of three minutes per person.

**VI. PRESENTATIONS**

None

**VII. UNFINISHED BUSINESS**

**A. Proposed Zoning Ordinance Amendments for the Agriculture / Forestry (AF) Zoning District (34-23-02)**

1. Staff introduction
2. Commissioner discussion
3. Commissioner decision

**B. Proposed Zoning Map for the Agriculture / Forestry (AF) Zoning District (34-23-02)**

1. Staff introduction
2. Commissioner discussion
3. Commissioner decision

**VIII. NEW BUSINESS**

**A. Preliminary Site Plan Review – Dollar General Store # 30520**

1. Staff introduction
2. Commissioner discussion

## **B. Proposed 2024 Planning Commission Meeting Dates**

1. Staff introduction
2. Commissioner discussion
3. Commissioner decision

## **IX. PUBLIC COMMENT**

Any item of interest – limit 3 minutes per person

## **X. COMMISSIONER'S COMMENTS**

## **XI. DIRECTOR'S REPORT**

## **XII. INFORMATIONAL ITEMS AND CORRESPONDENCE**

- A. Township Board Minutes – 11.13.23
- B. Township newsletter – November 2023

## **XIII. ADJOURNMENT**

### **Planning Commission Rules for Public Hearings and Public Comment**

1. Please wait for the Planning Commission Chair to acknowledge you before speaking. Individuals not following this rule are subject to dismissal from the meeting.
2. Individuals must state their name and address for the record. Individuals representing an organization must state their name and the organization they represent for the record.
3. Give your comments, opinion and / or question on the issue being addressed. Please stay on topic or you may be ruled out of order.
4. Due to a full agenda, and to ensure that everyone has time to speak, the Commissioners will limit comments to a timed limit per person. For the same reasons, please be as brief as possible and try not to repeat what has been said by others before you.
5. No person can grant his or her time to another speaker.
6. Please be as factual as possible and do not make comments on the character of people.
7. Planning Commissioners and Township staff members are not required nor expected to respond to comments, opinions and/or questions from the floor.



**CHOCOLAY TOWNSHIP  
PLANNING COMMISSION**

**Monday, November 20, 2023 Minutes**

**I. Meeting Call to Order**

Chair Ryan Soucy called the meeting to order at 6:00 PM.

**II. Roll Call**

Members present at roll call:

Ryan Soucy (Chair)  
George Meister (Vice Chair)  
Donna Mullen-Campbell (Secretary)  
Rebecca Sloan (Vice Secretary)  
Don Rhein (Board)  
Stephanie Gencheff

Members absent at roll call:

Kendall Milton

Staff present:

Richard Bohjanen (Township Supervisor), Dale Throenle (Planning Director / Zoning Administrator)

**III. Additional Agenda Items / Approval of Agenda**

Soucy requested that the minutes for the September 18 meeting be added to the agenda.

*Rhein moved, Meister seconded, to approve the agenda as changed.*

*Vote: Ayes: 6 Nays: 0 Motion carried*

**IV. Minutes**

**A. September 18, 2023 regular meeting**

**B. September 26, 2023 townhall meeting**

**C. October 10, 2023 townhall meeting**

**D. October 17, 2023 townhall meeting**

*Rhein moved, Meister seconded, to approve the minutes as presented.*

*Vote: Ayes: 6 Nays: 0 Motion carried*

**V. Public Comment**

Nancy Richards, 495 County Road 480

Spoke on the desire to see the process for the agriculture district come to a close.

## **VI. Presentations**

None

## **VII. Unfinished Business**

### **A. Draft Ordinance Considerations for the Agriculture / Forestry (AF) District Work Sessions**

#### **Staff Introduction**

Throenle gave an overview of the townhall sessions and the detail that was presented at the sessions. He stated that the pin maps that were used for the self-selection at the meetings had been converted to GIS maps that were included in the packet. He added that there was an error in section VII.A.12 in the packet; about the middle of the page the text should read "3 to 15 acres" instead of "3 to 10 acres".

#### **Commissioner Discussion**

Rhein stated that he felt the sessions went well, and that comments from the public were well received. Soucy stated that the public felt that they were being heard, and that the primary concern was to keep an agricultural flavor to all the districts. Sloan pointed out that the comments in the packet supported the concepts that some changes were desired, but that most with the larger acreages wanted to stay the same. Gencheff added that Soucy did a very good job of presenting a consistent message during his presentations at the meetings. Mullen-Campbell added that it might be good to have a townhall session again in the spring.

Commissioners addressed the maps that were presented that represented the self-selection. Meister felt that the self-selections pointed to a preservation of some areas but that others could be changed. He added that he felt the acreage sizes should be discussed to determine if they were the correct sizes.

Rhein suggested that the sizes be changed to accommodate the larger parcel sizes; he recommended that the sizes be changed to five acres for AG 1, 5 to 20 for AG 2 and 20 and over for AG 3. Commissioners suggested that maybe the three districts should be combined into two; Mullen-Campbell stated she felt that three districts were necessary to keep the distinctions in place for each district.

Sloan suggested looking at the maps to determine where the changes should occur. She stated that the area near the western end of County Road 480 be changed to AG 1 as many of those parcels were small in size; Meister agreed.

More discussion ensued regarding that area; the Commissioners agreed that area would be the best for the AG 1 designation.

Meister asked Throenle if it would be possible to draw zoning areas instead of rezoning individual parcels. He suggested that lines be drawn across parcels to accommodate a block effect. Throenle responded that if lines were drawn across parcels with different zoning, it would be difficult to determine where on the parcel one set of zoning uses would end, and where the other would begin. He stated if a parcel was zoned with one zoning designation, that the zoning areas may be jagged, but the

result would be only one zoning district per parcel as a result.

Throenle asked the Commissioners what the target date was for the completion of the agricultural zoning discussion. After discussion, Commissioners agreed that the target for the public hearing for the Planning Commission should be the February meeting. Meister stated that staff could bring back the maps showing the proposed districts at the December meeting, and that the maps could be modified at that time in preparation for the public hearing in February.

Commissioners discussed the other areas on the map, with discussion centered on the best choices for different areas in the Township. They decided that the parcels on the Sand River section located at the northeast corner of the Township should be in the AG 1 district. Changing discussion to the West Branch Road / Foster Creek section of the Township, they decided those parcels should be in the AG 2 district. Commissioners decided parcels identified in the center of the map north of Green Garden Road would be in the AG 3 district.

Commissioners discussed the parcels located on Mangum Road from Maple Road to the east and decided that the size of the parcels indicated the section should be in the AG 2 district. They then moved the discussion to the lower portions of Cherry Creek Road and the Karen Road area, and decided those parcels should also be in the AG 2 district.

Moving up Little Lake Road, Commissioners decided to put those parcels around Shimon Court into the AG 3 district. Above that, going to County Road 480, Commissioners decided that area should be designated as AG 2.

Commissioners discussed the parcels on the south side of M-28 East from Wanda Drive to the east. They decided that parcel sizes there showed the parcels should be in the AG 1 district.

Gencheff asked about changing the base zoning from the State Lands and asked how those parcels would be designated. Throenle suggested that the State Land rezoning question be addressed after the AF discussions were completed, so that the state land parcels could be designated into the previously decided zoning locations; Commissioners agreed with that suggestion.

Commissioners discussed the two parcels located between Townline Road and Old Kiln Road on the border of the Township; they directed Throenle to suggest where those parcels should be designated, as they seemed to be outlier parcels.

### **Commissioner Decision**

*After Commissioner review and discussion, Meister moved, Rhein seconded, that the next steps for the agriculture zoning district be as follows:*

- 1) *Staff should prepare a draft map for the December meeting.*
- 2) *Staff should designate on the map the areas discussed and group the agriculture districts according to discussion during the meeting.*

*Vote:       Ayes: 6   Nays: 0       Motion carried*

## VIII. New Business

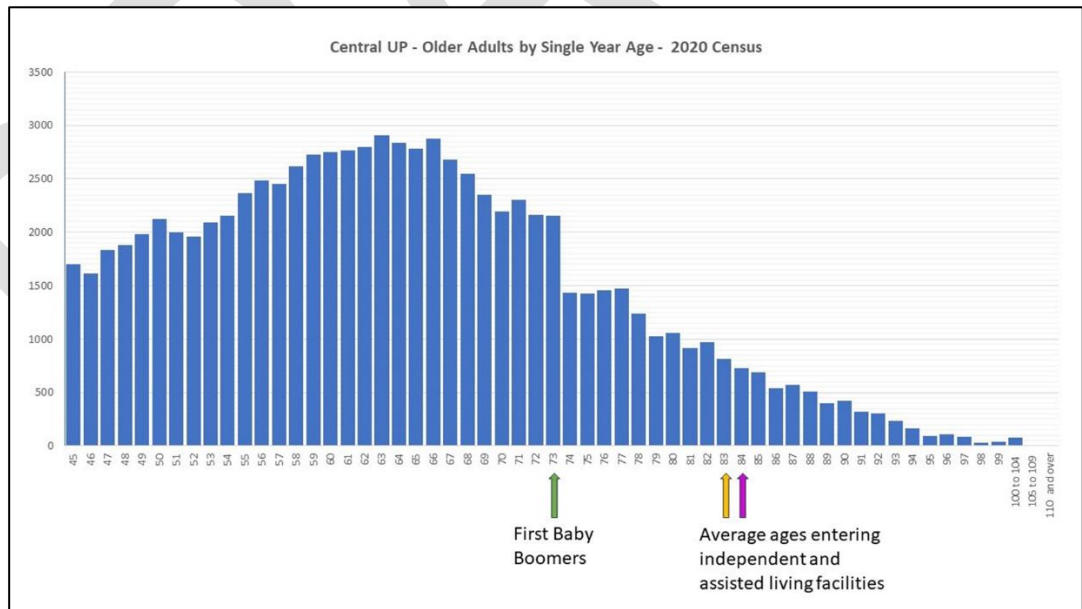
### B. Housing Discussion

Soucy stated that he had asked staff to put information in the packet regarding housing. He had acquired the information from a recent Michigan Association of Planning conference and wanted to begin the discussion of housing in the Township. He added that the primary concern from the conference was a lack of housing, especially for those that were aging, and he suggested the Commissioners begin looking at the accessory dwelling unit question.

Soucy asked Throenle for staff comments. Throenle stated that he had prepared some extracts from the census data throughout the County and had compared that data to the State of Michigan numbers. Throenle added that the numbers indicated a significant aging population in the County, with Forsyth Township showing the highest of all within the County. He further remarked that the documents in the packet showed a need for accessory dwelling units, and that a direction for most of the discussion was the ability to rent the unit after it was established. He added that considerations for accessory dwelling units in the Township should consider the cost of the units, the number of units per parcel, and how the well and septic issue would be resolved if two residences were on the same parcel.

### Commissioner Discussion

Using his laptop, Soucy showed a “Single Year by Sex” census table from the 2020 census to both the Commissioners and the public in attendance.



He described the age-related data and showed the critical timelines for accommodating accessory dwelling units within the Township to address aging in place issues.

Meister stated that he did not have an issue with accessory dwelling units; he wanted

them to be that the owner of the property had to be living on the property where the accessory dwelling unit would be located. Gencheff agreed, stating that California had a large issue with company-owned properties and the rental of the secondary units when primary owners were not on the properties.

Mullen-Campbell asked when a discussion on the accessory dwelling units would take place; Meister suggested that the conversations begin as soon as the agricultural districts discussion was completed; Soucy added that the conversations could start in March of 2024.

## **IX. Public Comment**

Michelle Weitek-Stephens, 550 Little Lake Road

Spoke about the accessory dwelling unit discussion, and asked the Commissioners to keep in mind the number of residents that leave for the winter. She spoke on agricultural uses and structures, and the need to keep space from neighbors because of those uses and structures. She also expressed concern about lot sizes for agricultural use.

Jill Bradford, 555 Little Lake Road

Spoke on making the right choices for each agricultural parcel. She also expressed concern to the Commissioners for wanting to change parcel sizes. She stated that what was presented at the townhall meetings should be what is followed as those are the acreage sizes that were presented to the public and what the public used for the self-selection maps.

## **X. Commissioner's Comments**

Rhein

Great discussion; was glad to see the mapping discussions that took place, and that the issue was coming to a close.

Mullen-Campbell

Stated that it was a good meeting of discussion.

Sloan

Felt that there was a lot of progress made during the meeting regarding the agriculture discussion.

Gencheff

Expressed that she was concerned about making sure the decisions were made to keep residents from losing use rights on their property.

Soucy

Thanked the Commissioners for a good job.

Meister

Expressed that he was looking forward to finishing the agricultural district discussion.

**XI. Director’s Report**

Planning / Zoning Administrator Throenle

He stated that there would be an agenda item in December to discuss the meeting dates for 2024. He added that the next meeting would be December 20, and wished the Commissioners a “Happy Thanksgiving”.

**XII. Informational Items and Correspondence**

- A. Township Board Minutes – 10.09.23
- B. Township newsletter – October 2023
- C. City of Marquette Planning Commission minutes 09.05.23
- D. City of Marquette Planning Commission minutes 10.03.23

**XIII. Adjournment**

*Rhein moved, Meister seconded, to adjourn the meeting.*

*Vote: Ayes: 6 Nays: 0 Motion carried*

Soucy adjourned the meeting at 8:04 PM

Submitted by:

\_\_\_\_\_  
Planning Commission Secretary

Donna Mullen-Campbell





**Charter Township of Chocolay**

**Planning and Zoning Department**

5010 US 41South

Marquette, MI 49855

Phone: 906-249-1448

Fax: 906-249-1313

**Agenda Item: VII.A Proposed Zoning Ordinance Amendments for the Agriculture / Forestry (AF) Zoning District (34-23-02)**

**Suggested Motion**

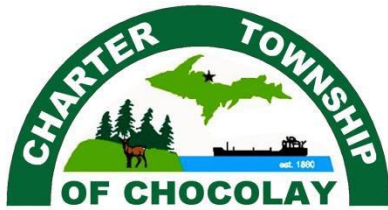
After Commissioner review, \_\_\_\_\_ moved, and \_\_\_\_\_ seconded that the Township zoning ordinance be amended as amendment number 34-23-02 to accomplish the following:

1. Remove section 4.7 *Agriculture / Forestry Zoning District (AF)*.
2. Renumber section 4.8 *Municipal Properties (MP)* to section 4.7.
3. Renumber section 4.9 *District Planned Unit Development (see Article X)* to section 4.8.
4. Renumber section 4.10 *Special Uses in Designated Zoning Districts* to section 4.12.
5. Insert the proposed sections 4.9 *AG 1 – Agriculture 1*, 4.10 *AG 2 – Agriculture 2*, and 4.11 *AG 3 – Agriculture 3* and related language as [presented / revised]

with the following findings of fact:

- ...
- ...
- ...

and that the proposed language be presented for a public hearing at a future Planning Commission meeting.



## Charter Township of Chocolay

### Planning and Zoning Department

5010 US 41 South

Marquette, MI 49855

Phone: 906-249-1448

Fax: 906-249-1313

**Issue Brief:** Proposed Zoning Ordinance Amendments for the Agriculture / Forestry (AF) Zoning District (34-23-02)

**Meeting: Planning Commission Meeting**

**Date: December 18, 2023**

### Issue Summary

Proposed zoning district names, proposed zoning district intent statements and proposed land uses.

### Background

At the December 2022 meeting, Commissioners reviewed zoning districts and proposed intent statements for those districts for the new zoning ordinance. Commissioners made recommendations for staff consideration.

At the June 2023 meeting, Commissioners reviewed the language presented for each district. Commissioners left the decision regarding mobile home parks for an additional discussion at the next meeting.

The language was presented at three separate townhall meetings in September and October.

Commissioners decided at the November meeting to bring the language forward for a public hearing.

### Staff Research

Staff has prepared a revision document for the Township zoning ordinance based on the proposed language (see attached).

Known as zoning amendment change 34-23-02, the zoning ordinance would be changed as follows:

- 1) Section 4.7 *Agriculture / Forestry Zoning District (AF)* would be removed.
- 2) Section 4.8 *Municipal Properties (MP)* would be renumbered to section 4.7.
- 3) Section 4.9 *District Planned Unit Development (see Article X)* would be renumbered to section 4.8.
- 4) Section 4.10 *Special Uses in Designated Zoning Districts* would be renumbered to section 4.12.
- 5) The proposed language for the new districts (AG 1, AG 2, and AG 3) would be inserted as sections 4.9 *AG 1 – Agriculture 1*, 4.10 *AG 2 – Agriculture 2*, and 4.11 *AG 3 – Agriculture 3*.

Language highlighted in green in the proposed sections is for additional Commissioner discussion.

### Staff Recommendations for Commissioner Discussion

Staff is recommending the Planning Commission members:

- 1) Review the proposed changes to the zoning ordinance, including the proposed language.
- 2) Review language highlighted in green with the intent to discuss the language.

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Author: Dale Throenle

Date: December 13, 2023

### Attachments

1. *Proposed zoning ordinance amendments for the Agriculture & Forestry (AF) Zoning District (34-23-02)*



## Proposed Zoning Ordinance Amendments (34-23-02)

### 4.7 Agriculture / Forestry District (AF)

#### ~~(A) Intent~~

~~To establish and maintain for low intensity use those areas which because of their location, accessibility and natural characteristics are suitable for a wide range of agricultural, forestry, and recreational uses.~~

#### ~~(B) Permitted Principal Uses~~

- ~~1. Growing and harvesting of timber and bush fruit~~
- ~~2. Agricultural~~
- ~~3. Wildlife management~~
- ~~4. Outdoor wood boilers (see Section 6.5) (#34-13-05)~~
- ~~5. Single family residences~~
- ~~6. Registered Rental Dwellings (#34-19-04)~~
- ~~7. Accessory structures (#34-21-02)~~

#### ~~(C) Conditional Uses~~

- ~~1. WECS~~
- ~~2. Resorts~~
- ~~3. Bed & Breakfast~~
- ~~4. Trails~~
- ~~5. Recreational uses/structures, on lots of 20 acres or more, where such development can be accomplished without significant adverse environmental impact~~
- ~~6. Racetracks~~
- ~~7. Hunting and shooting preserves on lots of 40 acres or more~~
- ~~8. Accessory Housing Units~~
- ~~9. Rural Cluster Development Subdivisions (see Section 6.12)~~
- ~~10. Contractor yards and shops~~
- ~~11. Parks (#34-09-02)~~
- ~~12. Kennels on lots 20 acres or more (#34-09-03)~~
- ~~13. Schools and Churches (#34-10-04)~~
- ~~14. Campgrounds on parcels 20 acres or more (#34-16-02)~~

### 4.87 Municipal Properties District (MP)

#### (A) Intent

To establish and preserve areas for certain public purpose and functions conducted by Chocolay Township

#### (B) Permitted Principal Uses

1. Public Offices and related buildings
2. Police and Fire Stations
3. Community Centers
4. Indoor Sports Facilities
5. Libraries
6. Marinas
7. Parks
8. Township utility infrastructure
9. Recycling drop offsite
10. Maintenance and Storage facilities
11. WECS on lots of 5 acres or more, including conditions of approval  
(#34-13-05)
12. Accessory structures (#34-21-02)

(C) Conditional Uses

1. Wireless Communication Facilities
2. Solid Waste Transfer Stations
3. Cemeteries
4. Campgrounds
5. Outdoor wood boilers (see *Section 6.5*) (#34-13-05)

**4.98 District Planned Unit Development (see *Article X*)**

(A) Intent

To accommodate innovative land uses provided stated objectives are met and in conformance with a final development plan.

(B) Permitted Principal Uses

1. Residential
2. Commercial
3. Manufacturing

(C) Conditional Uses

None



## Added Language (sections 4.9 through 4.11)

### Section 4.9 AG 1 – Agriculture 1

#### Intent

The intent of this district is to accommodate low-density residential and appropriately sized agriculture-related development and uses, such as u-pick farms, hobby farming, and other agriculture practices that do not conflict with the Michigan Right to Farm Act or Generally Accepted Agricultural and Management Practices (GAAMPs).

#### Acres and Setback Requirements

District Acreage	Frontage Minimum	Setbacks (in feet)		
		Front	Side	Rear
3 acres or less	75 feet	30	10	30

#### District Uses

**Note** The following uses are mandated under the Michigan *Zoning Enabling Act*, section 125.3206:

- Adult foster care facility
- Child care center
- Family child care home
- Group child care home
- Qualified residential treatment program
- State licensed residential facility

#### Legend

##### Use

<b>C</b>	conditional use	<b>C ***</b>	conditional use – 60 acres or more
<b>C *</b>	conditional use – 20 acres or more	<b>P</b>	permitted use
<b>C **</b>	conditional use – 40 acres or more	<b>P *</b>	permitted use – 20 acres or more

Use	Conditional (C) Permitted (P)
Accessory dwelling unit	P
Accessory residential home occupation - tier 1 <i>Examples</i> <ul style="list-style-type: none"> <li>• computer programming</li> <li>• consulting service</li> <li>• fine arts and writing</li> <li>• home office</li> <li>• mail order business</li> <li>• massage therapy</li> <li>• medical records processing</li> <li>• phone answering / solicitation service</li> <li>• web design</li> </ul>	P

Use	Conditional (C) Permitted (P)
Accessory residential home occupation - tier 2 <i>Examples</i> <ul style="list-style-type: none"> <li>• assembly operation</li> <li>• catering or food preparation</li> <li>• daycare</li> <li>• electronic or equipment repair</li> <li>• hair stylist</li> <li>• nail or personal care salon</li> <li>• pet grooming</li> </ul>	P
Accessory structure <i>Examples</i> <ul style="list-style-type: none"> <li>• garage</li> <li>• pole barn</li> <li>• shed</li> <li>• storage container</li> </ul>	P
Adult foster care facility	P
Agriculture – commercial <i>Examples</i> <ul style="list-style-type: none"> <li>• agriculture equipment repair</li> <li>• bee keeping</li> <li>• cold frame greenhouse</li> <li>• garden</li> <li>• greenhouse</li> <li>• herb farm</li> <li>• hobby farm</li> <li>• hoop house</li> </ul>	C
Agricultural - commercial product sales <i>Examples</i> <ul style="list-style-type: none"> <li>• agriculture / farm equipment sales</li> <li>• animal feed</li> <li>• garden center</li> <li>• plant nursery</li> <li>• rental and small equipment repair</li> </ul>	C
Agricultural - commercial soil modifications sales <i>Examples</i> fertilizer herbicide pesticide	C
Agriculture – on-premise sales <i>Examples</i> <ul style="list-style-type: none"> <li>• Christmas trees</li> <li>• creamery</li> <li>• dairy</li> <li>• flower, herb, and spice store</li> <li>• food truck</li> <li>• maple syrup</li> <li>• on-premise bakery</li> <li>• on- premise restaurant or café</li> <li>• produce, flowers, syrups, honey, etc. grown / harvested on the premises</li> <li>• winery</li> </ul>	C



Use	Conditional (C) Permitted (P)
Agriculture - on-site agritourism <i>Examples</i> <ul style="list-style-type: none"> <li>• agriculture-related event</li> <li>• cider mill</li> <li>• corn maze</li> <li>• farm museum</li> <li>• farmer's market</li> <li>• farm-stay</li> <li>• farm visits</li> <li>• library</li> <li>• museum</li> <li>• petting farm</li> <li>• pumpkin patch</li> <li>• roadside market or stand</li> <li>• U-pick operation</li> <li>• wedding barn</li> </ul>	C
Agriculture – residential <i>Examples</i> <ul style="list-style-type: none"> <li>• bee keeping</li> <li>• cold frame greenhouse</li> <li>• garden</li> <li>• greenhouse</li> <li>• hoop house</li> <li>• small grow sales</li> </ul>	P
Animal services – indoor facility <i>Examples</i> <ul style="list-style-type: none"> <li>• animal hospital</li> <li>• animal shelter</li> <li>• veterinary services</li> </ul>	C
Animal services – outdoor facility <i>Examples</i> <ul style="list-style-type: none"> <li>• animal hospital</li> <li>• animal shelter</li> <li>• veterinary services</li> </ul>	C
Boarding stable <i>Example</i> <ul style="list-style-type: none"> <li>• horse boarding</li> </ul>	P *
Campground	C *
Cemetery	C
Child care center	P
Community garden as a principal use on a lot	P
Contractor shop	C
Contractor yard	C
Craft brewery / micro-brewery / nano-brewery sales	C
Electric vehicle charging station for private use	P
Electric vehicle charging station for public use	C
Family child care home	P
Farmer's market as the accessory use of a lot	P
Farmer's market as the principal use of a lot	C

Use	Conditional (C) Permitted (P)
Food truck or other mobile vendor as principal use of a lot	C
Group child care home	C
Hunting or shooting preserve	C **
Indoor sport shooting range	C
Kennel – indoor	C *
Kennel – outdoor	C *
Light intensity processing with accessory storage <i>Examples</i> <ul style="list-style-type: none"> <li>• commercial kitchen</li> <li>• kitchen incubator</li> <li>• small craft bottling facility</li> </ul>	C
Medical or social care <i>Examples</i> <ul style="list-style-type: none"> <li>• assisted living facility</li> <li>• halfway house</li> <li>• homeless shelter</li> <li>• home for the aged</li> <li>• nursing or convalescent home</li> <li>• orphanage</li> <li>• sanitarium</li> <li>• spouse abuse shelter</li> </ul>	C
Medical clinic	C
Mining and / or mineral extraction and the incidental activities associated with such use	C
Mobile processing facility <i>Examples</i> <ul style="list-style-type: none"> <li>• food</li> <li>• game processing</li> <li>• meat processing</li> </ul>	P
Multi-family residential	C
On-site composting accessory to a non-residential use	C
Outdoor drive-in theatre	C
Outdoor food preparation	C
Outdoor storage – not accessory to a business	C
Outdoor wood boiler	P
Place of worship <i>Examples</i> <ul style="list-style-type: none"> <li>• church</li> <li>• mosque</li> <li>• synagogue</li> <li>• temple</li> </ul>	C
Planned Unit Development (PUD)	C
Private park	C





Use	Conditional (C) Permitted (P)
Private school <i>Examples</i> <ul style="list-style-type: none"> <li>• art</li> <li>• associated education research</li> <li>• dance</li> <li>• driver's training</li> <li>• K-20</li> <li>• music</li> <li>• vocational</li> </ul>	C
Public park <i>Examples</i> <ul style="list-style-type: none"> <li>• neighborhood park</li> <li>• public garden</li> </ul>	C
Public offices and related buildings <i>Examples</i> <ul style="list-style-type: none"> <li>• government office and service</li> <li>• publicly owned tourist information center</li> </ul>	C
Public school <i>Examples</i> <ul style="list-style-type: none"> <li>• art</li> <li>• associated education research</li> <li>• dance</li> <li>• driver's training</li> <li>• K-20</li> <li>• music</li> <li>• vocational</li> </ul>	C
Public utility <i>Examples</i> <ul style="list-style-type: none"> <li>• gas and water line</li> <li>• Internet service</li> <li>• sanitary sewer</li> <li>• telephone, cable, and electrical lines</li> </ul>	P
Qualified residential treatment program, 10 or fewer individuals	P
Recycling drop off site	C
Registered rental dwelling <i>Examples</i> <ul style="list-style-type: none"> <li>• bed and breakfast – single rental</li> <li>• single family rental</li> <li>• tourist home</li> <li>• vacation rental</li> <li>• similar rental with four units or less</li> </ul>	P
Resort	C
Riding stable or animal breeding facility accessory to a residence	C
Rural Cluster Development	C
Sawmill	C
Single family residential	P
Site condominiums	P
Solar energy system (SES) - roof mounted	P
Solar energy system (SES) - accessory ground mounted	P

Use	Conditional (C) Permitted (P)
Solar energy system (SES) - large commercial arrays	C
State licensed residential facility	P
Temporary street / road sale <i>Examples</i> <ul style="list-style-type: none"> <li>garage sale</li> <li>lemonade stand</li> <li>yard sale</li> </ul>	P
Trail <i>Examples</i> <ul style="list-style-type: none"> <li>non-motorized trail</li> <li>snowmobile trail</li> <li>trail easement</li> </ul>	C
Wind energy conservation system (WECS), ground mounted	C
Wind energy conservation system (WECS), roof mounted	C
Wildlife management	P
Wireless communication facility	C

*District Restrictions and Prohibitions*

1. Rural Residential Cluster permitted with 50% or more open space and detailed in the master deed.

*District Regulatory Control*

1. Michigan Right to Farm Act
2. Generally Accepted Agricultural and Management Practices (enforced by MDARD)

**Section 4.10 AG 2 – Agriculture 2**

*Intent*

The intent of this district is to accommodate low-density residential with a primary focus on agriculture-related development and uses, such as hobby farms, domestic animal husbandry, small row cropping, and other agriculture practices that do not conflict with the Michigan Right to Farm Act or Generally Accepted Agricultural and Management Practices (GAAMPs).

*Acreage and Setback Requirements*

District Acreage	Frontage Minimum	Setbacks (in feet)		
		Front	Side	Rear
3 acres to 15 acres	150 feet	30	30	30



## District Uses

**Note** The following uses are mandated under the Michigan *Zoning Enabling Act*, section 125.3206:

- Adult foster care facility
- Child care center
- Family child care home
- Group child care home
- Qualified residential treatment program
- State licensed residential facility

## Legend

<b>C</b>	conditional use	<b>C ***</b>	conditional use – 60 acres or more
<b>C *</b>	conditional use – 20 acres or more	<b>P</b>	permitted use
<b>C **</b>	conditional use – 40 acres or more	<b>P *</b>	permitted use – 20 acres or more

Use	Conditional (C) Permitted (P)
Accessory dwelling unit	P
Accessory residential home occupation - tier 1 <i>Examples</i> <ul style="list-style-type: none"> <li>• computer programming</li> <li>• consulting service</li> <li>• fine arts and writing</li> <li>• home office</li> <li>• mail order business</li> <li>• massage therapy</li> <li>• medical records processing</li> <li>• phone answering / solicitation service</li> <li>• web design</li> </ul>	P
Accessory residential home occupation - tier 2 <i>Examples</i> <ul style="list-style-type: none"> <li>• assembly operation</li> <li>• catering or food preparation</li> <li>• daycare</li> <li>• electronic or equipment repair</li> <li>• hair stylist</li> <li>• nail or personal care salon</li> <li>• pet grooming</li> </ul>	P
Accessory structure <i>Examples</i> <ul style="list-style-type: none"> <li>• garage</li> <li>• pole barn</li> <li>• shed</li> <li>• storage container</li> </ul>	P
Adult foster care facility	P
Agriculture – commercial <i>Examples</i> <ul style="list-style-type: none"> <li>• agriculture equipment repair</li> <li>• bee keeping</li> <li>• cold frame greenhouse</li> <li>• garden</li> <li>• greenhouse</li> <li>• herb farm</li> <li>• hobby farm</li> <li>• hoop house</li> </ul>	P

Use	Conditional (C) Permitted (P)
Agricultural - commercial product sales <i>Examples</i> <ul style="list-style-type: none"> <li>• agriculture / farm equipment sales</li> <li>• animal feed</li> <li>• garden center</li> <li>• plant nursery</li> <li>• rental and small equipment repair</li> </ul>	P
Agricultural - commercial soil modifications sales <i>Examples</i> <ul style="list-style-type: none"> <li>fertilizer</li> <li>herbicide</li> <li>pesticide</li> </ul>	C
Agriculture – on-premise sales <i>Examples</i> <ul style="list-style-type: none"> <li>• Christmas trees</li> <li>• creamery</li> <li>• dairy</li> <li>• flower, herb, and spice store</li> <li>• food truck</li> <li>• maple syrup</li> <li>• on-premise bakery</li> <li>• on- premise restaurant or café</li> <li>• produce, flowers, syrups, honey, etc. grown / harvested on the premises</li> <li>• winery</li> </ul>	P
Agriculture - on-site agritourism <i>Examples</i> <ul style="list-style-type: none"> <li>• agriculture-related event</li> <li>• cider mill</li> <li>• corn maze</li> <li>• farm museum</li> <li>• farmer's market</li> <li>• farm-stay</li> <li>• farm visits</li> <li>• library</li> <li>• museum</li> <li>• petting farm</li> <li>• pumpkin patch</li> <li>• roadside market or stand</li> <li>• U-pick operation</li> <li>• wedding barn</li> </ul>	C
Agriculture – residential <i>Examples</i> <ul style="list-style-type: none"> <li>• bee keeping</li> <li>• cold frame greenhouse</li> <li>• garden</li> <li>• greenhouse</li> <li>• hoop house</li> <li>• small grow sales</li> </ul>	P
Animal services – indoor facility <i>Examples</i> <ul style="list-style-type: none"> <li>• animal hospital</li> <li>• animal shelter</li> <li>• veterinary services</li> </ul>	C



Use	Conditional (C) Permitted (P)
Animal services – outdoor facility <i>Examples</i> <ul style="list-style-type: none"> <li>• animal hospital</li> <li>• animal shelter</li> <li>• veterinary services</li> </ul>	C
Boarding stable <i>Example</i> <ul style="list-style-type: none"> <li>• horse boarding</li> </ul>	P *
Campground	C *
Cemetery	C
Child care center	P
Community garden as a principal use on a lot	P
Contractor shop	C
Contractor yard	C
Craft brewery / micro-brewery / nano-brewery sales	C
Electric vehicle charging station for private use	P
Electric vehicle charging station for public use	C
Family child care home	P
Farmer's market as the accessory use of a lot	P
Farmer's market as the principal use of a lot	P
Food packaging and bottling works	C
Group child care home	C
Hunting or shooting preserve	C **
Indoor sport shooting range	C
Kennel – indoor	C *
Kennel – outdoor	C *
Light intensity processing with accessory storage <i>Examples</i> <ul style="list-style-type: none"> <li>• commercial kitchen</li> <li>• kitchen incubator</li> <li>• small craft bottling facility</li> </ul>	C
Medical or social care <i>Examples</i> <ul style="list-style-type: none"> <li>• assisted living facility</li> <li>• halfway house</li> <li>• homeless shelter</li> <li>• home for the aged</li> <li>• nursing or convalescent home</li> <li>• orphanage</li> <li>• sanitarium</li> <li>• spouse abuse shelter</li> <li>• nursing or convalescent home</li> </ul>	C
Medical clinic	C

Use	Conditional (C) Permitted (P)
Mining and / or mineral extraction and the incidental activities associated with such use	C
Mobile processing facility <i>Examples</i> <ul style="list-style-type: none"> <li>• food</li> <li>• game processing</li> <li>• meat processing</li> </ul>	P
Multi-family residential	C
On-site composting accessory to a non-residential use	P
Outdoor drive-in theatre	C
Outdoor food preparation	C
Outdoor storage – not accessory to a business	C
Outdoor wood boiler	P
Place of worship <i>Examples</i> <ul style="list-style-type: none"> <li>• church</li> <li>• mosque</li> <li>• synagogue</li> <li>• temple</li> </ul>	C
Private park	C
Private school <i>Examples</i> <ul style="list-style-type: none"> <li>• art</li> <li>• associated education research</li> <li>• dance</li> <li>• driver's training</li> <li>• K-20</li> <li>• music</li> <li>• vocational</li> </ul>	C
Public park <i>Examples</i> <ul style="list-style-type: none"> <li>• neighborhood park</li> <li>• public garden</li> </ul>	C
Public offices and related buildings <i>Examples</i> <ul style="list-style-type: none"> <li>• government office and service</li> <li>• publicly owned tourist information center</li> </ul>	C
Public school <i>Examples</i> <ul style="list-style-type: none"> <li>• art</li> <li>• associated education research</li> <li>• dance</li> <li>• driver's training</li> <li>• K-20</li> <li>• music</li> <li>• vocational</li> </ul>	C



Use	Conditional (C) Permitted (P)
Public utility <i>Examples</i> <ul style="list-style-type: none"> <li>• gas and water line</li> <li>• Internet service</li> <li>• sanitary sewer</li> <li>• telephone, cable, and electrical lines</li> </ul>	P
Qualified residential treatment program, 10 or fewer individuals	P
Recycling drop off site	C
Registered rental dwelling <i>Examples</i> <ul style="list-style-type: none"> <li>• bed and breakfast – single rental</li> <li>• single family rental</li> <li>• tourist home</li> <li>• vacation rental</li> <li>• similar rental with four units or less</li> </ul>	P
Resort	C
Riding stable or animal breeding facility accessory to a residence	C *
Rural Cluster Development	C
Sawmill	P
Single family residential	P
Site condominiums	C
Solar energy system (SES) - roof mounted	P
Solar energy system (SES) - accessory ground mounted	P
Solar energy system (SES) - large commercial arrays	C
State licensed residential facility	P
Temporary street / road sale <i>Examples</i> <ul style="list-style-type: none"> <li>• garage sale</li> <li>• lemonade stand</li> <li>• yard sale</li> </ul>	P
Trail <i>Examples</i> <ul style="list-style-type: none"> <li>• non-motorized trail</li> <li>• snowmobile trail</li> <li>• trail easement</li> </ul>	C
Wind energy conservation system (WECS), ground mounted	C
Wind energy conservation system (WECS), roof mounted	C
Wildlife management	P
Wireless communication facility	C

*District Restrictions and Prohibitions*

1. Rural Residential Cluster permitted with 50% or more open space and detailed in the master deed.
2. No Planned Unit Development (PUD) permitted.

*District Regulatory Control*

1. Michigan Right to Farm Act
2. Generally Accepted Agricultural and Management Practices (enforced by MDARD)

**Section 4.11 AG 3 – Agriculture 3**

*Intent*

The intent of this district is to establish and maintain areas suitable for a wide range of large-scale agricultural and forestry practices and uses that do not conflict with the Michigan Right to Farm Act or Generally Accepted Agricultural and Management Practices (GAAMPs).

*Acres and Setback Requirements*

District Acreage	Frontage Minimum	Setbacks (in feet)		
		Front	Side	Rear
15 acres or more	200 feet	30	30	30

*District Uses*

**Note** The following uses are mandated under the Michigan Zoning Enabling Act, section 125.3206:

- Adult foster care facility
- Child care center
- Family child care home
- Group child care home
- Qualified residential treatment program
- State licensed residential facility

**Legend**

- |             |                                    |              |                                    |
|-------------|------------------------------------|--------------|------------------------------------|
| <b>C</b>    | conditional use                    | <b>C ***</b> | conditional use – 60 acres or more |
| <b>C *</b>  | conditional use – 20 acres or more | <b>P</b>     | permitted use                      |
| <b>C **</b> | conditional use – 40 acres or more | <b>P *</b>   | permitted use – 20 acres or more   |

Use	Conditional (C) Permitted (P)
Accessory dwelling unit	P
Accessory residential home occupation - tier 1 <i>Examples</i> <ul style="list-style-type: none"> <li>• computer programming</li> <li>• consulting service</li> <li>• fine arts and writing</li> <li>• home office</li> <li>• mail order business</li> <li>• massage therapy</li> <li>• medical records processing</li> <li>• phone answering / solicitation service</li> <li>• web design</li> </ul>	P





Use	Conditional (C) Permitted (P)
Accessory residential home occupation - tier 2 <i>Examples</i> <ul style="list-style-type: none"> <li>• assembly operation</li> <li>• catering or food preparation</li> <li>• daycare</li> <li>• electronic or equipment repair</li> <li>• hair stylist</li> <li>• nail or personal care salon</li> <li>• pet grooming</li> </ul>	P
Accessory structure <i>Examples</i> <ul style="list-style-type: none"> <li>• garage</li> <li>• pole barn</li> <li>• shed</li> <li>• storage container</li> </ul>	P
Adult foster care facility	P
Agriculture – commercial <i>Examples</i> <ul style="list-style-type: none"> <li>• agriculture equipment repair</li> <li>• bee keeping</li> <li>• cold frame greenhouse</li> <li>• garden</li> <li>• greenhouse</li> <li>• herb farm</li> <li>• hobby farm</li> <li>• hoop house</li> </ul>	P
Agricultural - commercial product sales <i>Examples</i> <ul style="list-style-type: none"> <li>• agriculture / farm equipment sales</li> <li>• animal feed</li> <li>• garden center</li> <li>• plant nursery</li> <li>• rental and small equipment repair</li> </ul>	P
Agricultural - commercial soil modifications sales <i>Examples</i> <ul style="list-style-type: none"> <li>• fertilizer</li> <li>• herbicide</li> <li>• pesticide</li> </ul>	C
Agriculture – on-premise sales <i>Examples</i> <ul style="list-style-type: none"> <li>• Christmas trees</li> <li>• creamery</li> <li>• dairy</li> <li>• flower, herb, and spice store</li> <li>• food truck</li> <li>• maple syrup</li> <li>• on-premise bakery</li> <li>• on- premise restaurant or café</li> <li>• produce, flowers, syrups, honey, etc. grown / harvested on the premises</li> <li>• winery</li> </ul>	P

Use	Conditional (C) Permitted (P)
Agriculture - on-site agritourism <i>Examples</i> <ul style="list-style-type: none"> <li>• agriculture-related event</li> <li>• cider mill</li> <li>• corn maze</li> <li>• farm museum</li> <li>• farmer's market</li> <li>• farm-stay</li> <li>• library</li> <li>• museum</li> <li>• petting farm</li> <li>• pumpkin patch</li> <li>• roadside market or stand</li> <li>• U-pick operation</li> </ul>	P
Agriculture – residential <i>Examples</i> <ul style="list-style-type: none"> <li>• bee keeping</li> <li>• cold frame greenhouse</li> <li>• garden</li> <li>• greenhouse</li> <li>• hoop house</li> <li>• small grow sales</li> </ul>	P
Animal services – indoor facility <i>Examples</i> <ul style="list-style-type: none"> <li>• animal hospital</li> <li>• animal shelter</li> <li>• veterinary services</li> </ul>	P
Animal services – outdoor facility <i>Examples</i> <ul style="list-style-type: none"> <li>• animal hospital</li> <li>• animal shelter</li> <li>• veterinary services</li> </ul>	C
Boarding stable <i>Example</i> <ul style="list-style-type: none"> <li>• horse boarding</li> </ul>	P *
Campground	C *
Cemetery	C
Child care center	P
Commercial recreation - outdoor <i>Examples</i> <ul style="list-style-type: none"> <li>• amusement park</li> <li>• batting cage</li> <li>• golf driving range</li> <li>• miniature golf course</li> <li>• zoo</li> </ul>	C *
Community garden as a principal use on a lot	P
Contractor shop	C
Contractor yard	C



Use	Conditional (C) Permitted (P)
Craft brewery / micro-brewery / nano-brewery sales	C
Electric vehicle charging station for private use	P
Electric vehicle charging station for public use	C
Family child care home	P
Farmer's market as the accessory use of a lot	P
Farmer's market as the principal use of a lot	P
Food packaging and bottling works	C
Group child care home	C
Hunting or shooting preserve	C **
Indoor sport shooting range	C
Kennel – indoor	C *
Kennel – outdoor	C *
<p>Large housing</p> <p><b>Note Does not include:</b></p> <ul style="list-style-type: none"> <li>• adult foster care facility</li> <li>• child care center</li> <li>• correctional facility</li> <li>• family child care home</li> <li>• hotel, motel, or similar lodging facility</li> <li>• group child care home</li> <li>• medical or social care</li> <li>• multi-family residential</li> <li>• qualified residential treatment program</li> <li>• state licensed residential facility</li> </ul> <p><i>Examples</i></p> <ul style="list-style-type: none"> <li>• co-op</li> <li>• convent</li> <li>• fraternity or sorority</li> <li>• monastery</li> <li>• seminary</li> </ul>	C
<p>Light intensity processing with accessory storage</p> <p><i>Examples</i></p> <ul style="list-style-type: none"> <li>• commercial kitchen</li> <li>• kitchen incubator</li> <li>• small craft bottling facility</li> </ul>	C
<p>Light use structure</p> <p><i>Examples</i></p> <ul style="list-style-type: none"> <li>• communication tower</li> <li>• recycling collection center</li> <li>• satellite antennae larger than ten feet in diameter</li> </ul>	C

Use	Conditional (C) Permitted (P)
Medical or social care <i>Examples</i> <ul style="list-style-type: none"> <li>• assisted living facility</li> <li>• halfway house</li> <li>• homeless shelter</li> <li>• home for the aged</li> <li>• nursing or convalescent home</li> <li>• orphanage</li> <li>• sanitarium</li> <li>• spouse abuse shelter</li> </ul>	C
Medical clinic	C
Medical hospital	C
Medium manufacturing, including some outdoor operations or storage of materials or vehicles <i>Examples</i> <ul style="list-style-type: none"> <li>• exterminator</li> <li>• landscape supply</li> <li>• machine shop</li> <li>• recycling operation other than vehicles</li> <li>• small vehicle, body, and frame repair</li> <li>• towing with temporary outdoor storage</li> <li>• welding shop</li> <li>• wholesale lawn and garden services</li> </ul>	C
Mining and / or mineral extraction and the incidental activities associated with such use	C
Mobile processing facility <i>Examples</i> <ul style="list-style-type: none"> <li>• food</li> <li>• game processing</li> <li>• meat processing</li> </ul>	P
On-site composting accessory to a non-residential use	P
Outdoor drive-in theatre	C
Outdoor flea market	C
Outdoor food preparation	C
Outdoor wood boiler	P
Place of worship <i>Examples</i> <ul style="list-style-type: none"> <li>• church</li> <li>• mosque</li> <li>• synagogue</li> <li>• temple</li> </ul>	C
Private park	C



Use	Conditional (C) Permitted (P)
Private school <i>Examples</i> <ul style="list-style-type: none"> <li>• art</li> <li>• associated education research</li> <li>• dance</li> <li>• driver's training</li> <li>• K-20</li> <li>• music</li> <li>• vocational</li> </ul>	C
Public park <i>Examples</i> <ul style="list-style-type: none"> <li>• neighborhood park</li> <li>• public garden</li> </ul>	C
Public offices and related buildings <i>Examples</i> <ul style="list-style-type: none"> <li>• government office and service</li> <li>• publicly owned tourist information center</li> </ul>	C
Public school <i>Examples</i> <ul style="list-style-type: none"> <li>• art</li> <li>• associated education research</li> <li>• dance</li> <li>• driver's training</li> <li>• K-20</li> <li>• music</li> <li>• vocational</li> </ul>	C
Public utility <i>Examples</i> <ul style="list-style-type: none"> <li>• gas and water line</li> <li>• Internet service</li> <li>• sanitary sewer</li> <li>• telephone, cable, and electrical lines</li> </ul>	P
Qualified residential treatment program, 10 or fewer individuals	P
Recycling drop off site	C
Registered rental dwelling <i>Examples</i> <ul style="list-style-type: none"> <li>• bed and breakfast – single rental</li> <li>• single family rental</li> <li>• tourist home</li> <li>• vacation rental</li> <li>• similar rental with four units or less</li> </ul>	P
Resort	C
Riding stable or animal breeding facility accessory to a residence	C *
Sawmill	P
Single family residential	P
Site condominiums	C
Solar energy system (SES) - roof mounted	P
Solar energy system (SES) - accessory ground mounted	P
Solar energy system (SES) - large commercial arrays	C

Use	Conditional (C) Permitted (P)
State licensed residential facility	P
Temporary street / road sale <i>Examples</i> <ul style="list-style-type: none"> <li>• garage sale</li> <li>• lemonade stand</li> <li>• yard sale</li> </ul>	P
Trail <i>Examples</i> <ul style="list-style-type: none"> <li>• non-motorized trail</li> <li>• snowmobile trail</li> <li>• trail easement</li> </ul>	C
Wind energy conservation system (WECS), ground mounted	C
Wind energy conservation system (WECS), roof mounted	C
Wildlife management	P
Wireless communication facility	C

#### *District Restrictions and Prohibitions*

1. No Planned Unit Development (PUD) permitted.
2. No divisions allowed under PA116 or Qualified Forestry Program Property.
3. No land divisions beyond the Michigan Land Division Act for parent parcels.

#### *District Regulatory Control*

1. Michigan Right to Farm Act
2. Generally Accepted Agricultural and Management Practices (enforced by MDARD)
3. Michigan Land Division Act
4. Michigan PA 116

#### **4.1012 Special Uses in Designated Zoning Districts**

Special uses are those uses of land which, because of their possible impact on the environment, the economy, and the health, safety and welfare of the community, require a specific process for their review, consideration, and possible approval, and therefore may not be commenced without first securing the approval of the Township Board in accordance with the applicable procedures and obtaining the required permit from the Zoning Administrator as set forth in this Ordinance. The purpose of this section is to identify those special uses and the zoning districts in which they are permitted, and to identify the procedures for obtaining a permit which would allow a special use.

##### **(A) Mining and / or Mineral Extraction and the Incidental Activities Associated with Such Use**

1. A mining and/or mineral extraction operation may be permitted by the Township Board in any and all zoning districts as established in this Zoning Ordinance if such operations



and activities meet all established requirements, standards, criteria, and conditions set forth in Article VII.

2. The procedure, standards, and criteria applicable to the Township Board in its consideration of an application for a mining and/or mineral extraction special use permit shall be as set forth in the provisions of Article VII of this Zoning Ordinance.

**(B) Site Condominiums**

1. A Site Condominium may be permitted by the Township Board in any and all zoning districts as established in this Zoning Ordinance if such use meets all established requirements, standards, criteria, and conditions set forth in Article XII of this Zoning Ordinance.
2. The procedures, standards, and criteria applicable to the Township Board in its consideration of an application for a site condominium special use permit shall be as set forth in the provisions of Article XII of this Zoning Ordinance.



## Charter Township of Chocolay

### Planning and Zoning Department

5010 US 41South

Marquette, MI 49855

Phone: 906-249-1448

Fax: 906-249-1313

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### **Agenda Item: VII.B Proposed Zoning Map for the Agriculture / Forestry (AF) Zoning District (34-23-02)**

#### **Suggested Motion**

After Commissioner review, \_\_\_\_\_ moved, and \_\_\_\_\_ seconded that the Township zoning map be amended as part of amendment number 34-23-02 to accomplish the following:

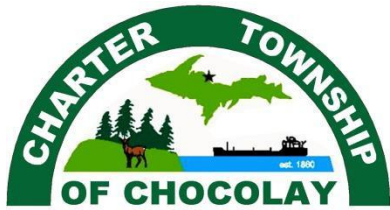
1. Remove the Agriculture / Forestry Zoning District (AF).
2. Insert the proposed AG 1 – Agriculture 1, AG 2 – Agriculture 2, and AG 3 – Agriculture 3 zoning districts as [presented / revised] on the provided maps,

with the following findings of fact:

- ...
- ...
- ...

and that the proposed zoning map be presented for a public hearing at a future Planning Commission meeting.





## Charter Township of Chocolay

### Planning and Zoning Department

5010 US 41 South

Marquette, MI 49855

Phone: 906-249-1448

Fax: 906-249-1313

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### Issue Brief: **Proposed Zoning Map for the Agriculture / Forestry (AF) Zoning District (34-23-02)**

**Meeting: Planning Commission Meeting**

**Date: December 18, 2023**

#### Issue Summary

Review of proposed zoning maps for the Agriculture / Forestry (AF) zoning district.

#### Background

Commissioners and staff have completed a considerable amount of work since 2018 related to the question of non-conforming parcels in the Agriculture / Forestry (AF) zoning district. Commissioners decided to present the draft materials to the public for public input before completing the process.

Three townhall sessions were set for public attendance in September and October and were held as scheduled. Each session was opened as a formal meeting, and minutes were generated for each session.

At the November meeting, Commissioners reviewed the proposed AG 1, AG 2 and AG 3 zoning districts, and made recommendations regarding the locations for those districts. These recommendations were based on discussions with the public during the work sessions and the self-selection maps.

The Commissioners requested staff to generate maps with the proposed AG 1, AG 2, and AG 3 zoning districts for the next Planning Commission meeting, and to provide maps that showed the surrounding zoning to the proposed districts.

#### Staff Research

Staff prepared maps with the proposed districts for Commissioner review. Staff prepared maps with three distinct layouts and prepared five separate sets with the three layouts.

The layouts are:

- 1) Proposed AG 1, AG 2 and AG 3 zoning districts

This map shows the district locations proposed by the Commissioners during the November meeting.

- 2) Proposed AG 1, AG 2 and AG 3 zoning districts with the surrounding zoning districts

This map shows the district locations proposed by the Commissioners with the surrounding zoning districts. The purpose of this map is to show the location of the proposed zoning districts in relation to the location of the surrounding zoning districts.

- 3) Proposed AG 1, AG 2 and AG 3 zoning districts with wetlands overlaying the proposed districts

This map shows the district locations proposed by the Commissioners overlaid with the wetland designations throughout the Township. The purpose of this map is to show where potential development can and cannot occur throughout the Township; the goal is to ease the fear of widespread sprawl throughout the Township.

Five sets of maps were produced (see attached). There is a primary set that shows the entire Township, and four quadrants were produced to give a closer view of each layout. The sets are:



- 1) Township – shows the entire Township
- 2) Northwest – includes area in the US 41 South / M-28 East corridor and the village of Harvey
- 3) Southwest – includes areas west of US 41 South
- 4) Northeast – includes areas along M-28, Shot Point and M-28
- 5) Southeast – includes areas with the State lands

Staff included additional maps for review purposes, including the current approved zoning map, the current Agriculture / Forestry zoning district, the acreage self-selection map from the Townhall sessions, the zoning map showing zoning districts prior to 2008, the future growth sectors map, and the future land use map (see attached).

### **Staff Recommendations for Commissioner Discussion**

Staff recommends the Commissioners:

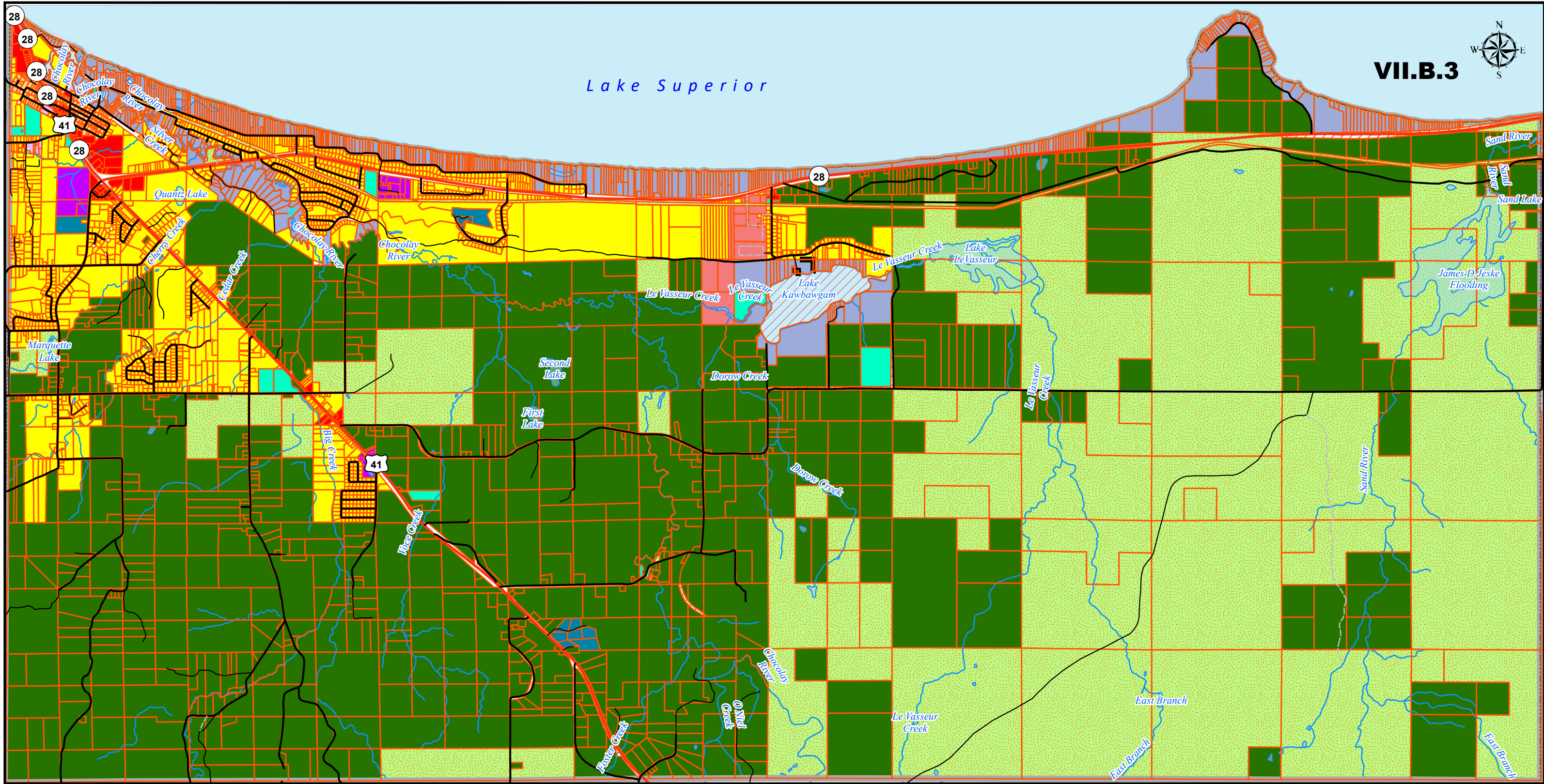

- 1) Review the maps to determine if the locations of the proposed zoning districts are the desired Commissioner locations.

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Author: Dale Throenle  
Date: December 12, 2023

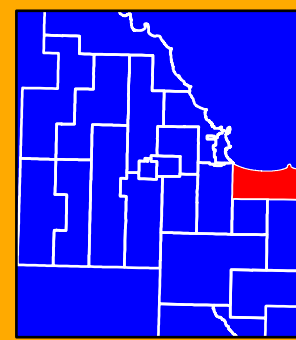
### **Attachments**

1. *Zoning Districts - Township official*
2. *Zoning Districts - Township official*
3. *AF Acreage Self-Select – Township*
4. *AG proposed zoning – Township*
5. *AG proposed zoning - Township with surrounding zoning*
6. *AG proposed zoning - Township with wetlands*
7. *AG proposed zoning – Northwest*
8. *AG proposed zoning - Northwest with surrounding zoning*
9. *AG proposed zoning - Northwest with wetlands*
10. *AG proposed zoning – Southwest*
11. *AG proposed zoning - Southwest with surrounding zoning*
12. *AG proposed zoning - Southwest with wetlands*
13. *AG proposed zoning – Northeast*
14. *AG proposed zoning - Northeast with surrounding zoning*
15. *AG proposed zoning - Northeast with wetlands*
16. *AG proposed zoning – Southeast*
17. *AG proposed zoning - Southeast with surrounding zoning*
18. *AG proposed zoning - Southeast with wetlands*
19. *Zoning Map prior to 2008 – Township*
20. *Future Growth Sectors – Township*
21. *Future Land Use – Township*


Charter Township of Chocolay  
**Zoning Districts**  
 Township  
 November 9, 2022

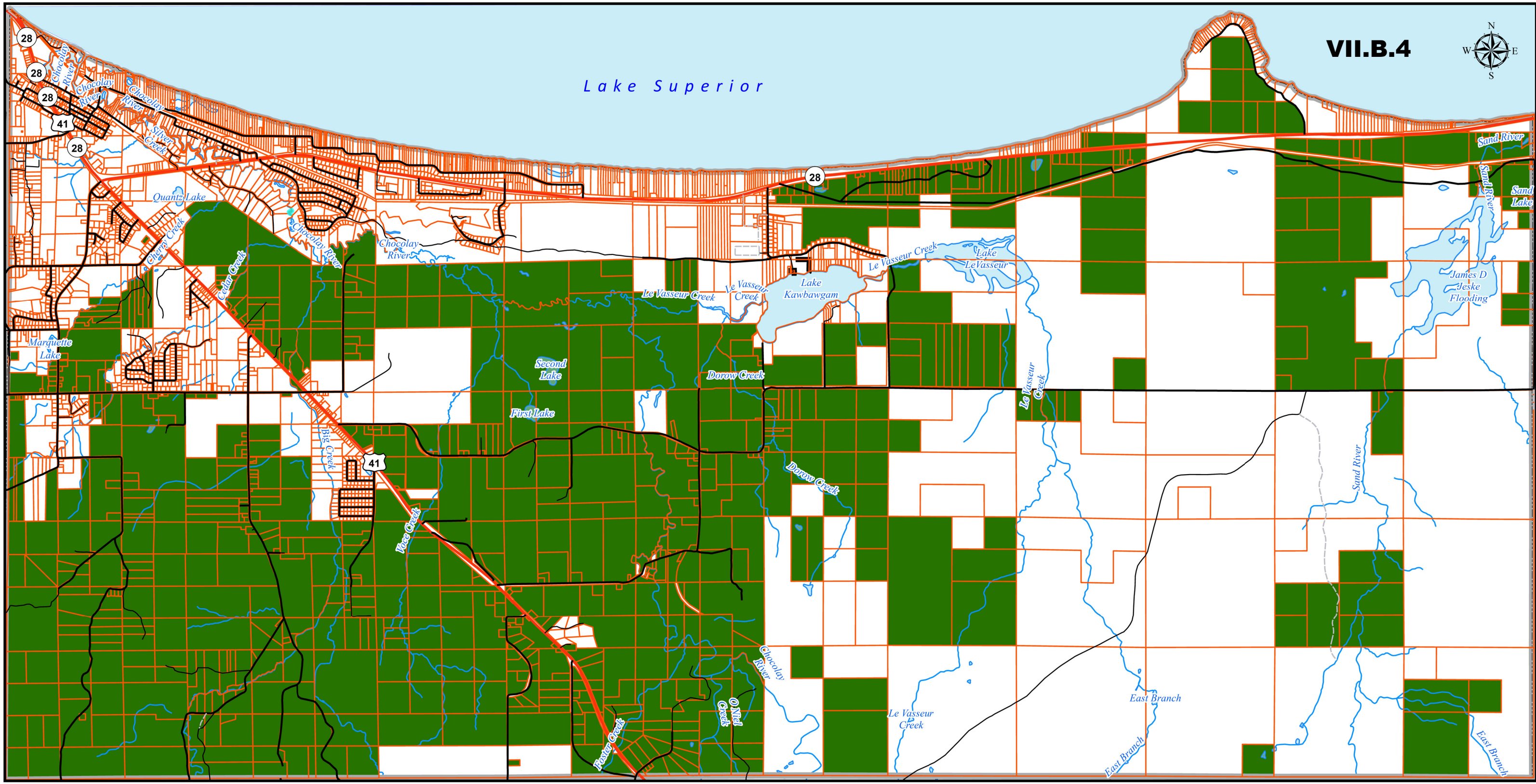
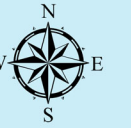
Lakes, Rivers and Streams	Roads	Zoning
Lake	Highway	AF - Agriculture / Forestry
Lake Superior	Primary road	C - Commercial
River or stream	Secondary road	I - Industrial
	Unpaved / not classified	KBIC - Trust properties
		MFR - Multi-Family Residential
		MP - Municipal Properties
		PUD - Planned Unit Development
		R1 - Single Family Residential
		R2 - High Density Residential
		State Lands
		WFR - Waterfront Residential
		No zoning provided



**Township Supervisor:**

**Township Clerk:**





Lakes, Rivers and Streams


- Lake
- Lake Superior
- River or stream

Roads

- Highway
- Primary road
- Secondary road
- Unpaved / not classified

Zoning districts - by district

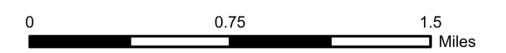
- AF

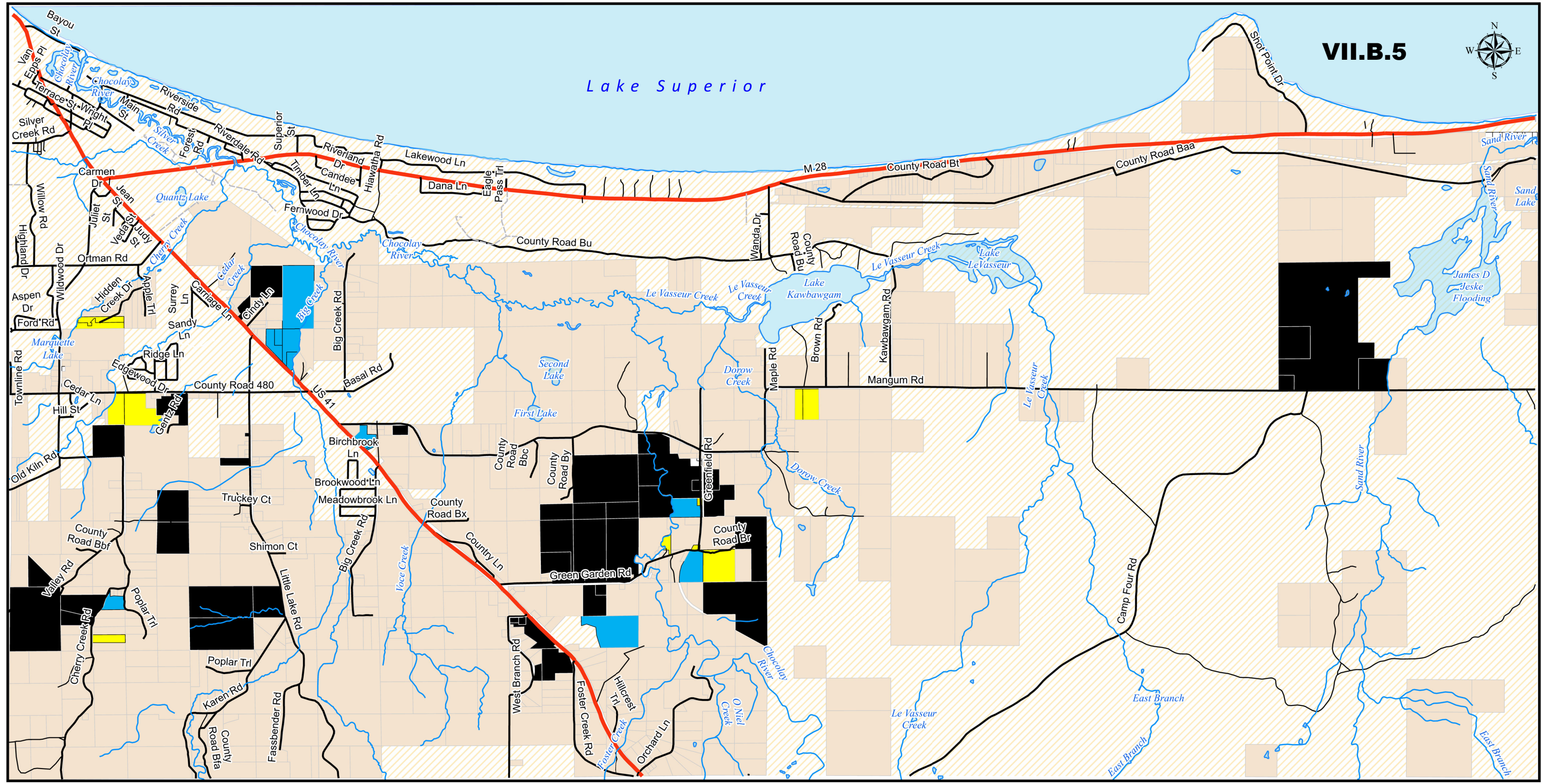
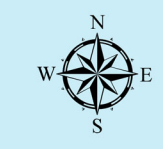


Charter Township of Chocolay

### Zoning Districts

Township  
November 9, 2022





**Lakes, Rivers and Streams**


- Lake
- Lake Superior
- River or stream

**Roads**

- Highway
- Primary road
- Secondary road
- Unpaved / not classified

**Parcel Selection**

- no selection
- change to 3 acres or less minimum
- change to 3 acres to 15 acres minimum
- change to 15 acres or more minimum
- remain at 20 acres minimum
- Not AF zoning

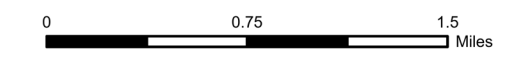


Charter Township of Chocolay

**Townhall Parcel Selection**  
Township

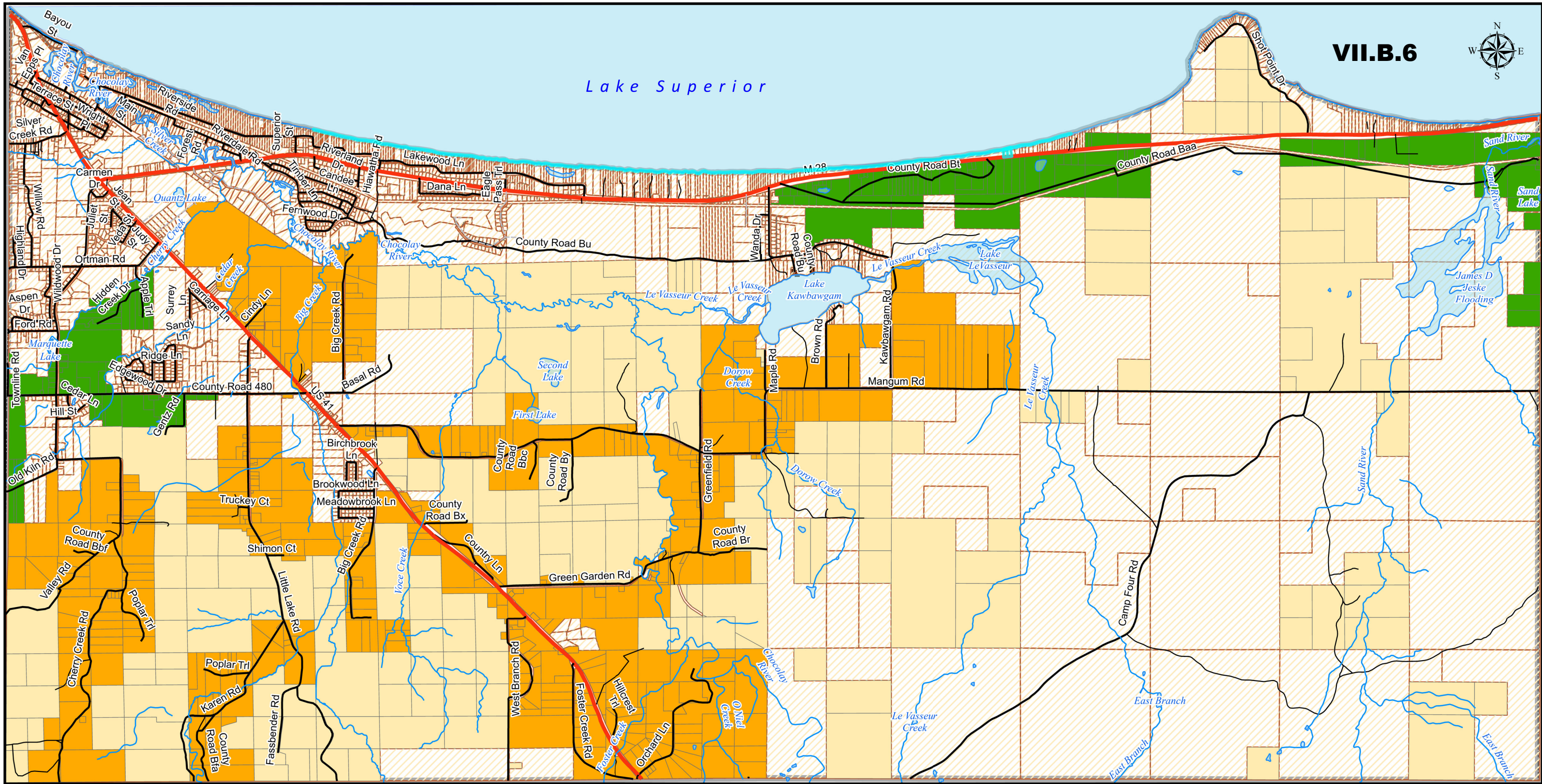

9.26.2023, 10.10.2023,  
and 10.17.2023

Not intended for legal use





Lake Superior












Charter Township of Chocolay

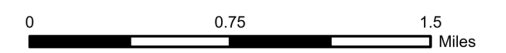
### Proposed AG Zoning Districts

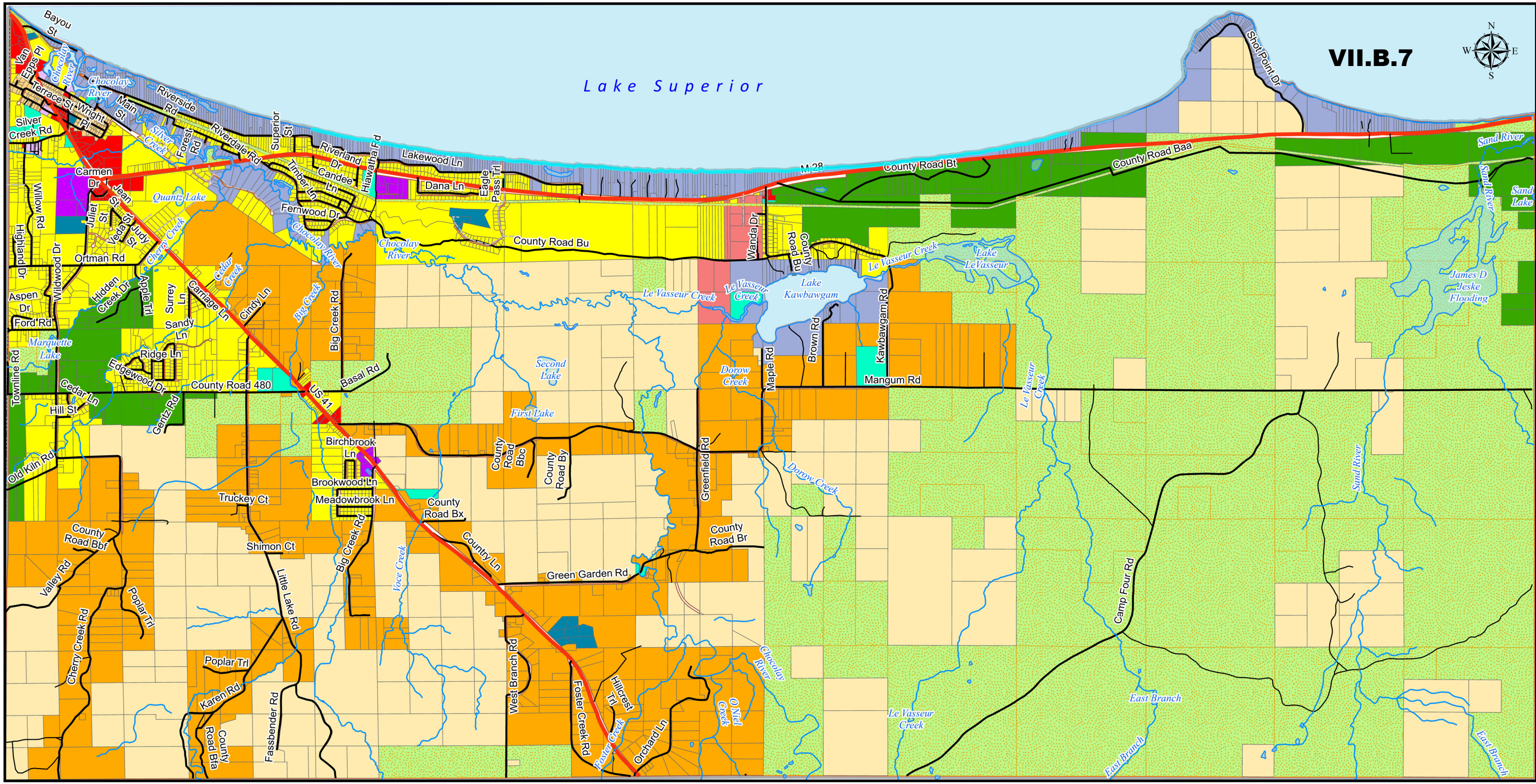
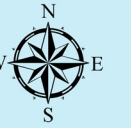

Township

December 18, 2023

Not intended for legal use

- | Lakes, Rivers and Streams   | Roads  | Proposed AG Zoning Districts   |
|---|--|--|
|  Lake            |  Highway                  |  AG 1 - less than 3 acres |
|  Lake Superior   |  Primary road             |  AG 2 - 3 to 15 acres     |
|  River or stream |  Secondary road           |  AG 3 - 15 acres or more  |
|   |  Unpaved / not classified |  Not AG Zoning            |



Charter Township of Chocolay

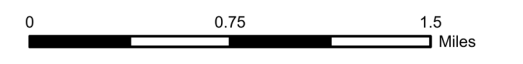
### Proposed AG Zoning Districts

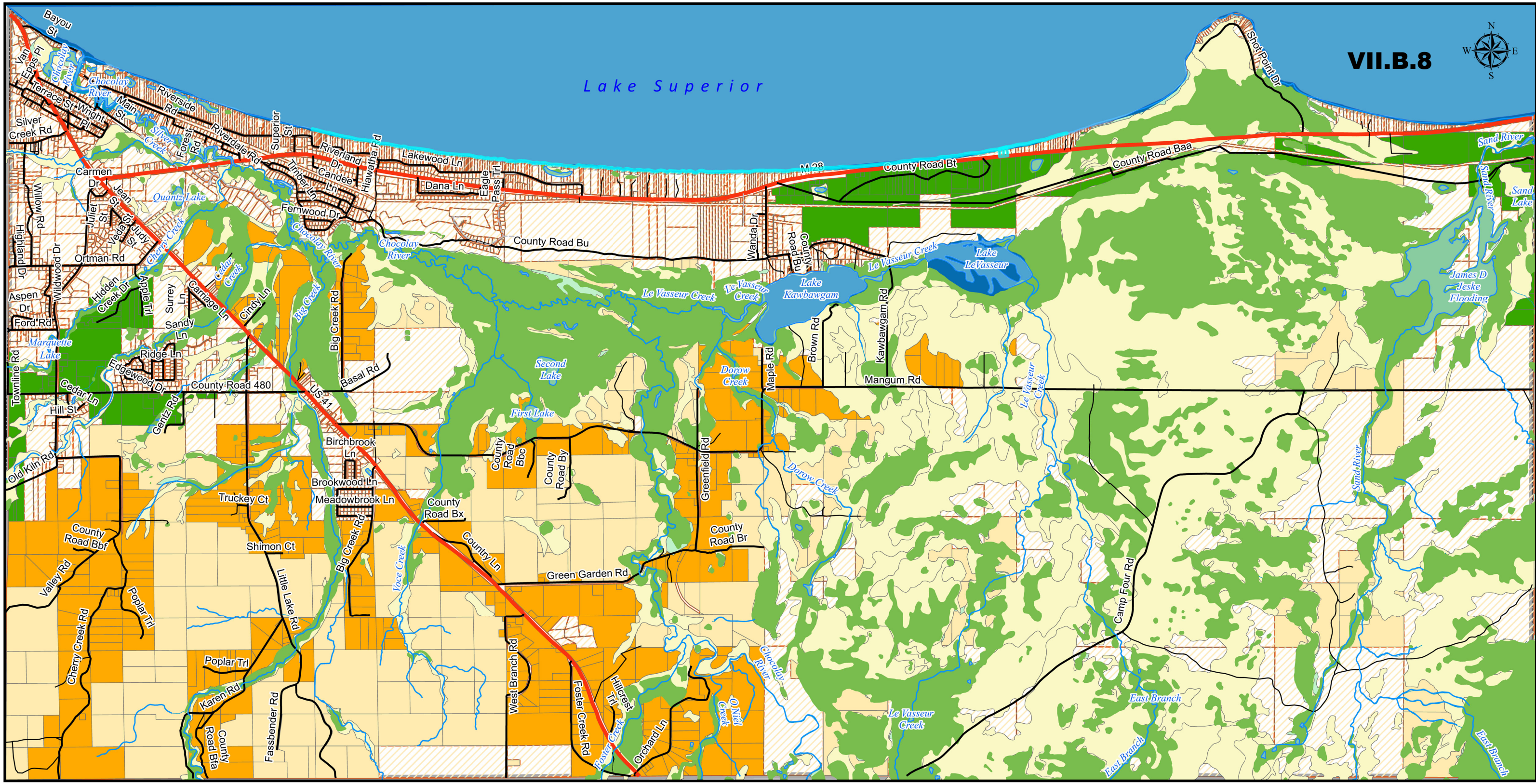
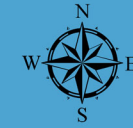

Township

December 18, 2023

Not intended for legal use

Lakes, Rivers and Streams	Roads	Proposed AG Zoning Districts	Surrounding Zoning
Lake	Highway	AG 1 - less than 3 acres	C
Lake Superior	Primary road	AG 2 - 3 to 15 acres	I
River or stream	Secondary road	AG 3 - 15 acres or more	KBIC
	Unpaved / not classified		MFR
			MP
			PUD
			R1
			R2
			State Lands
			WFR



Charter Township of Chocolay

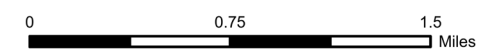
### Proposed AG Zoning Districts

Township

December 18, 2023

Not intended for legal use

Lakes, Rivers and Streams	Roads	Proposed AG Zoning Districts	Hydic Soils and Wetlands	EGLE Hydric Soils
Lake	Highway	AG 1 - less than 3 acres	<b>USA Wetlands</b>	Hydric Soils
Lake Superior	Primary road	AG 2 - 3 to 15 acres	Estuary	<b>Michigan Resource Inventory System (MIRIS)</b>
River or stream	Secondary road	AG 3 - 15 acres or more	Lake, Reservoir	MIRIS Wetland Classes
	Unpaved / not classified	Not AG Zoning	Marine	
			Marsh, Swamp, Bog, Prairie	
			River	





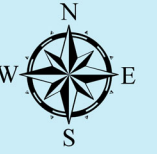


Charter Township of Chocolay

# Proposed AG Zoning Districts Northwest

December 18, 2023

## VII.B.9



Lake Superior

### Lakes, Rivers and Streams

- Lake
- Lake Superior
- River or stream

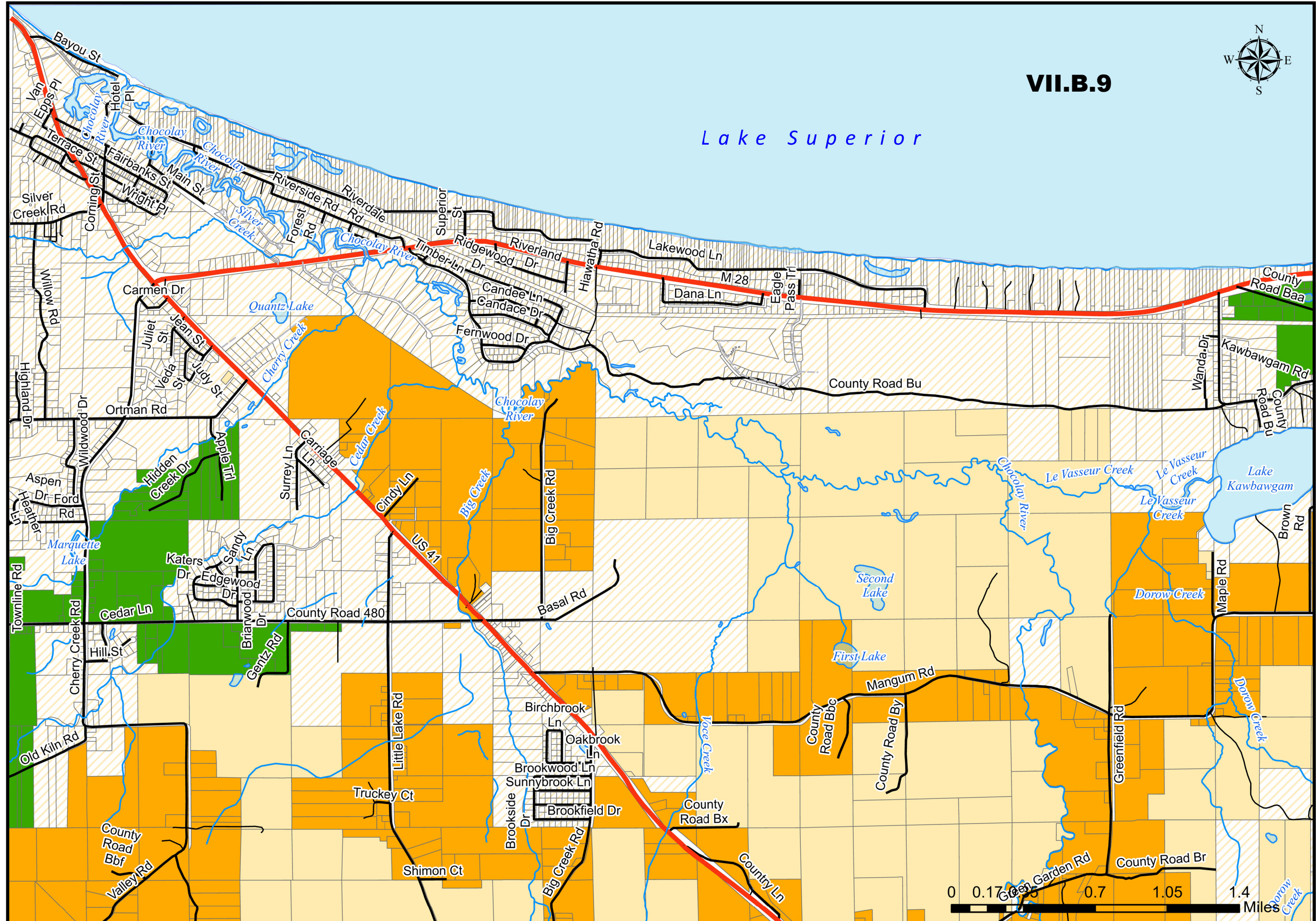
### Roads

- Highway
- Primary road
- Secondary road
- Unpaved / not classified

### Proposed AG Zoning Districts

- AG 1 - less than 3 acres
- AG 2 - 3 to 15 acres
- AG 3 - 15 acres or more
- Not AG Zoning

Not intended for legal use



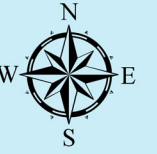


Charter Township of Chocolay

# Proposed AG Zoning Districts Northwest

December 18, 2023

## VII.B.10



Lake Superior

### Lakes, Rivers and Streams

- Lake
- Lake Superior
- River or stream

### Roads

- Highway
- Primary road
- Secondary road
- Unpaved / not classified

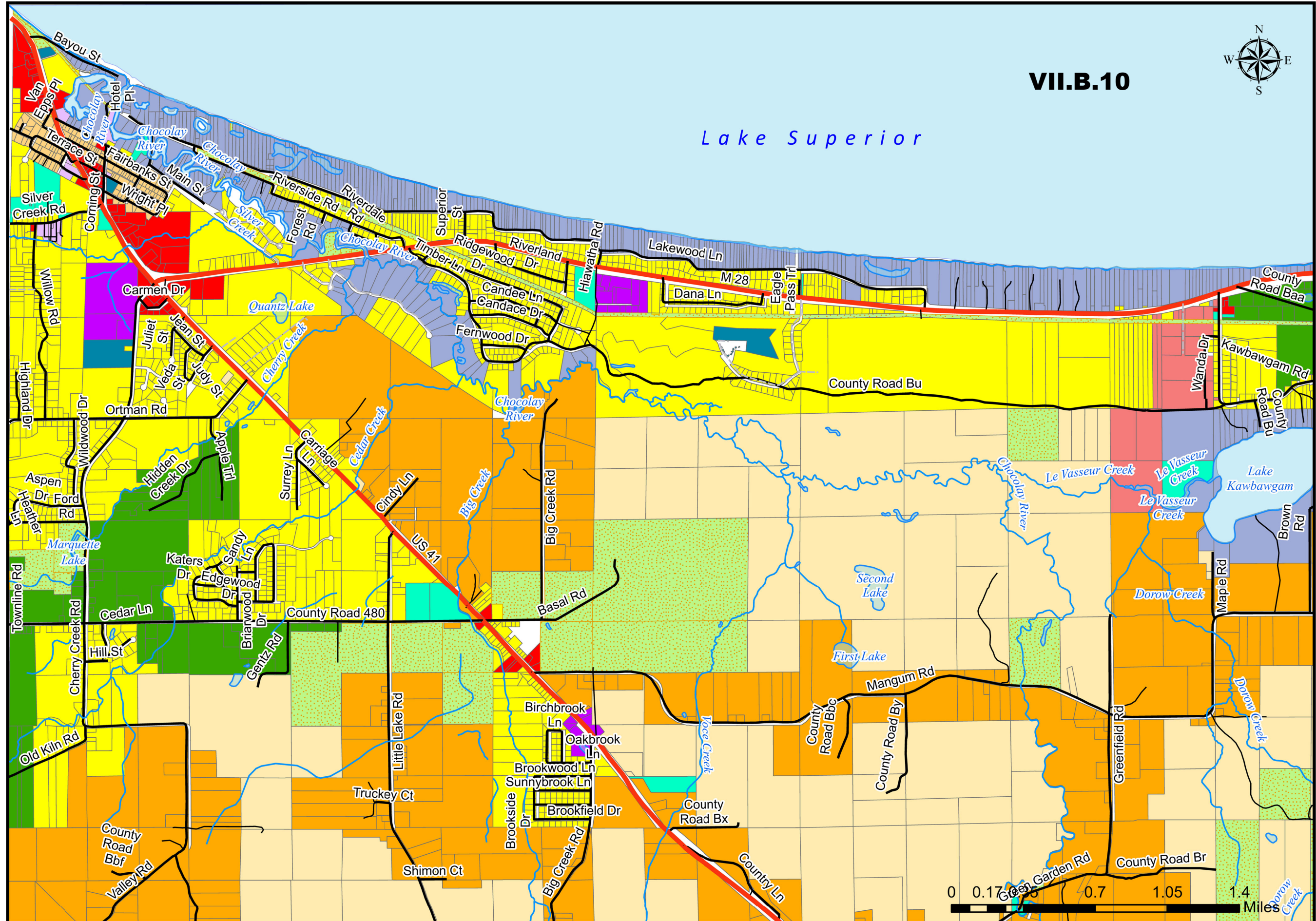
### Proposed AG Zoning Districts

- AG 1 - less than 3 acres
- AG 2 - 3 to 15 acres
- AG 3 - 15 acres or more

### Surrounding Zoning

- C
- I
- KBIC
- MFR
- MP
- PUD
- R1
- R2
- State Lands
- WFR

Not intended for legal use







Charter Township of Chocolay

# Proposed AG Zoning Districts Southwest

December 18, 2023

### Lakes, Rivers and Streams

- Lake
- River or stream

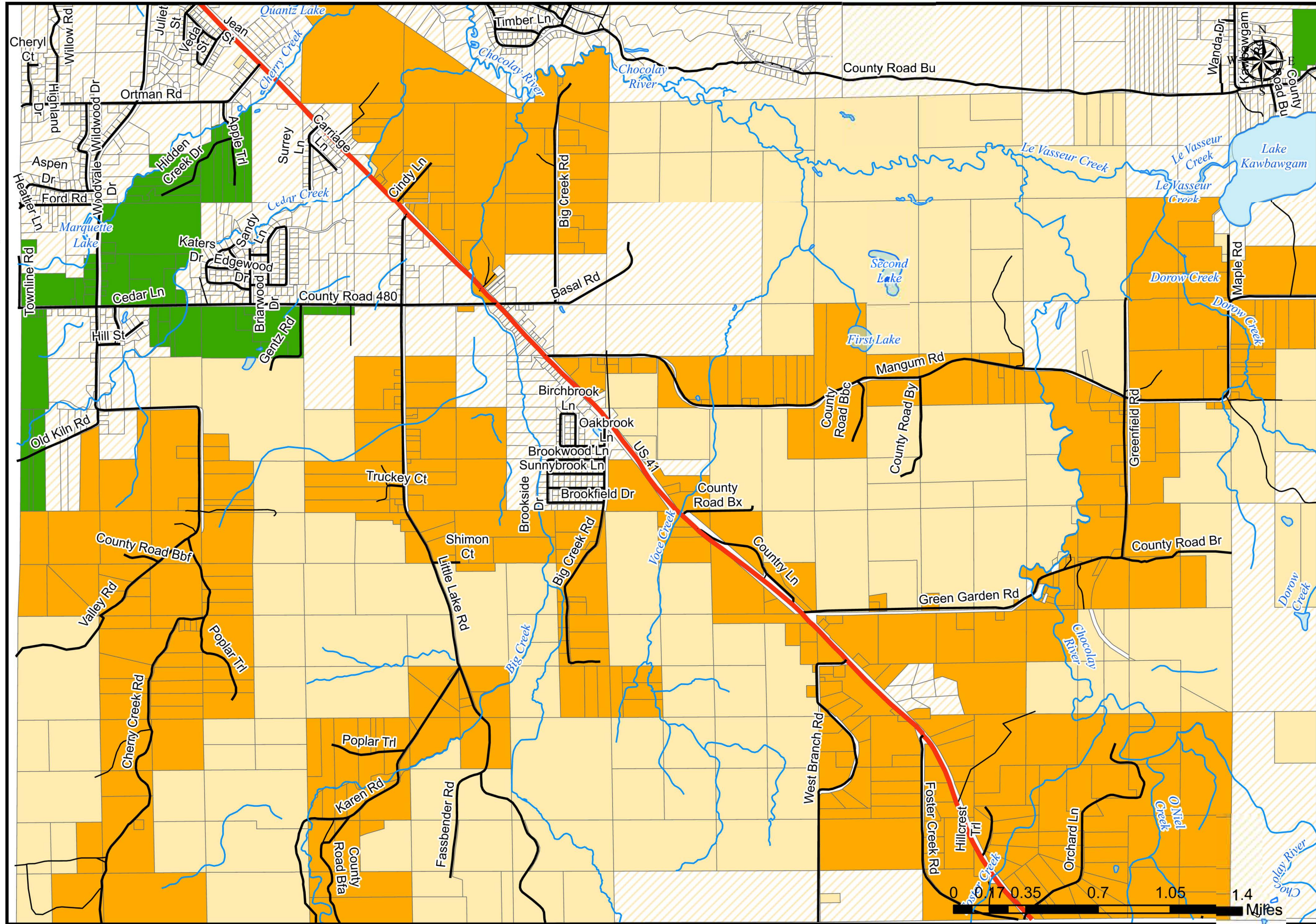
### Roads

- Highway
- Primary road
- Secondary road
- Unpaved / not classified

### Proposed AG Zoning Districts

- AG 1 - less than 3 acres
- AG 2 - 3 to 15 acres
- AG 3 - 15 acres or more
- Not AG Zoning

Not intended for legal use





Charter Township of Chocolay

# Proposed AG Zoning Districts Southwest

December 18, 2023

### Lakes, Rivers and Streams

- Lake
- River or stream

### Roads

- Highway
- Primary road
- Secondary road
- Unpaved / not classified

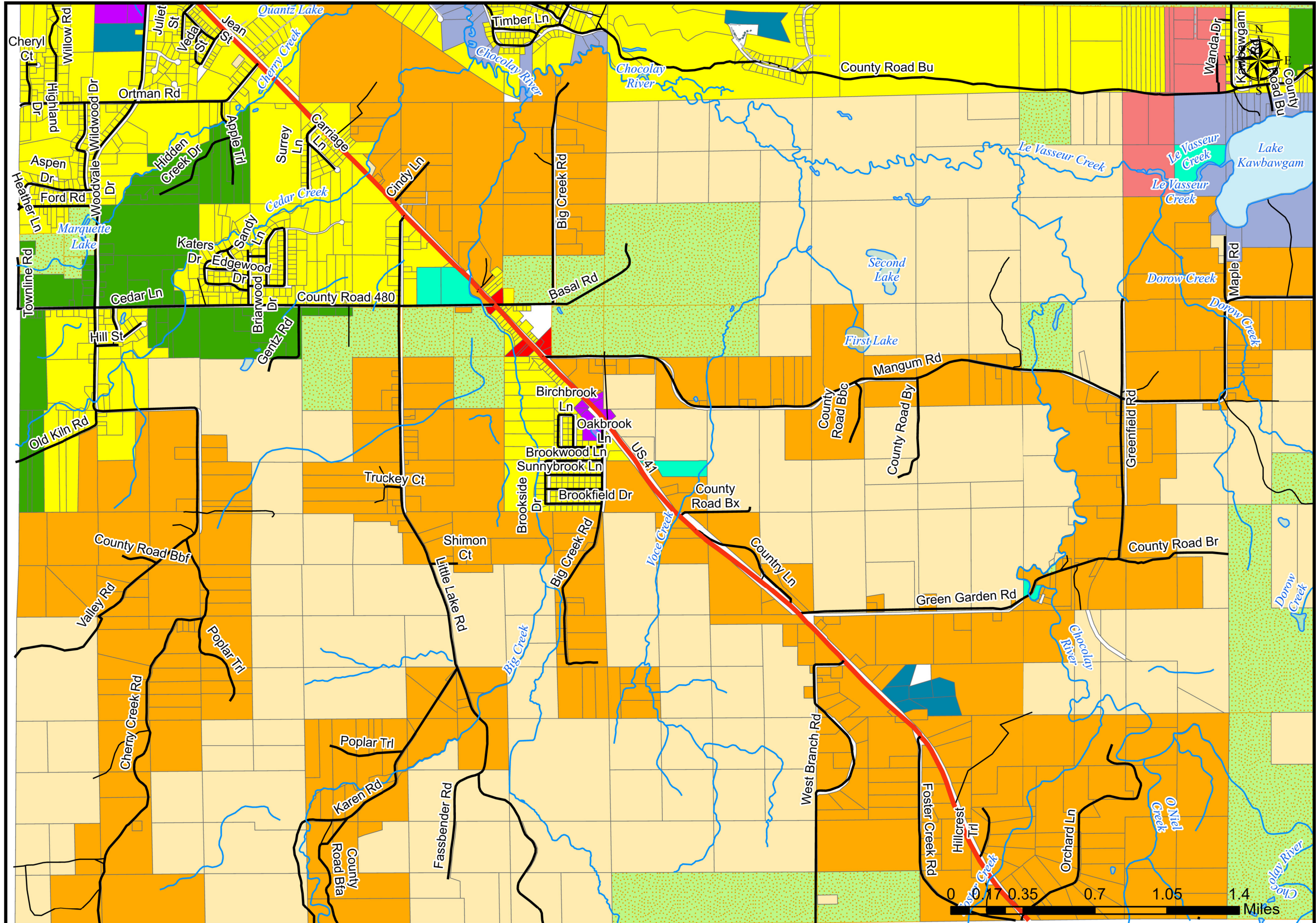
### Proposed AG Zoning Districts

- AG 1 - less than 3 acres
- AG 2 - 3 to 15 acres
- AG 3 - 15 acres or more

### Surrounding Zoning

- C
- I
- KBIC
- MP
- PUD
- R1
- State Lands
- WFR

Not intended for legal use





Charter Township of Chocolay

# Proposed AG Zoning Districts Southwest

December 18, 2023

### Lakes, Rivers and Streams

- Lake
- River or stream

### Roads

- Highway
- Primary road
- Secondary road
- Unpaved / not classified

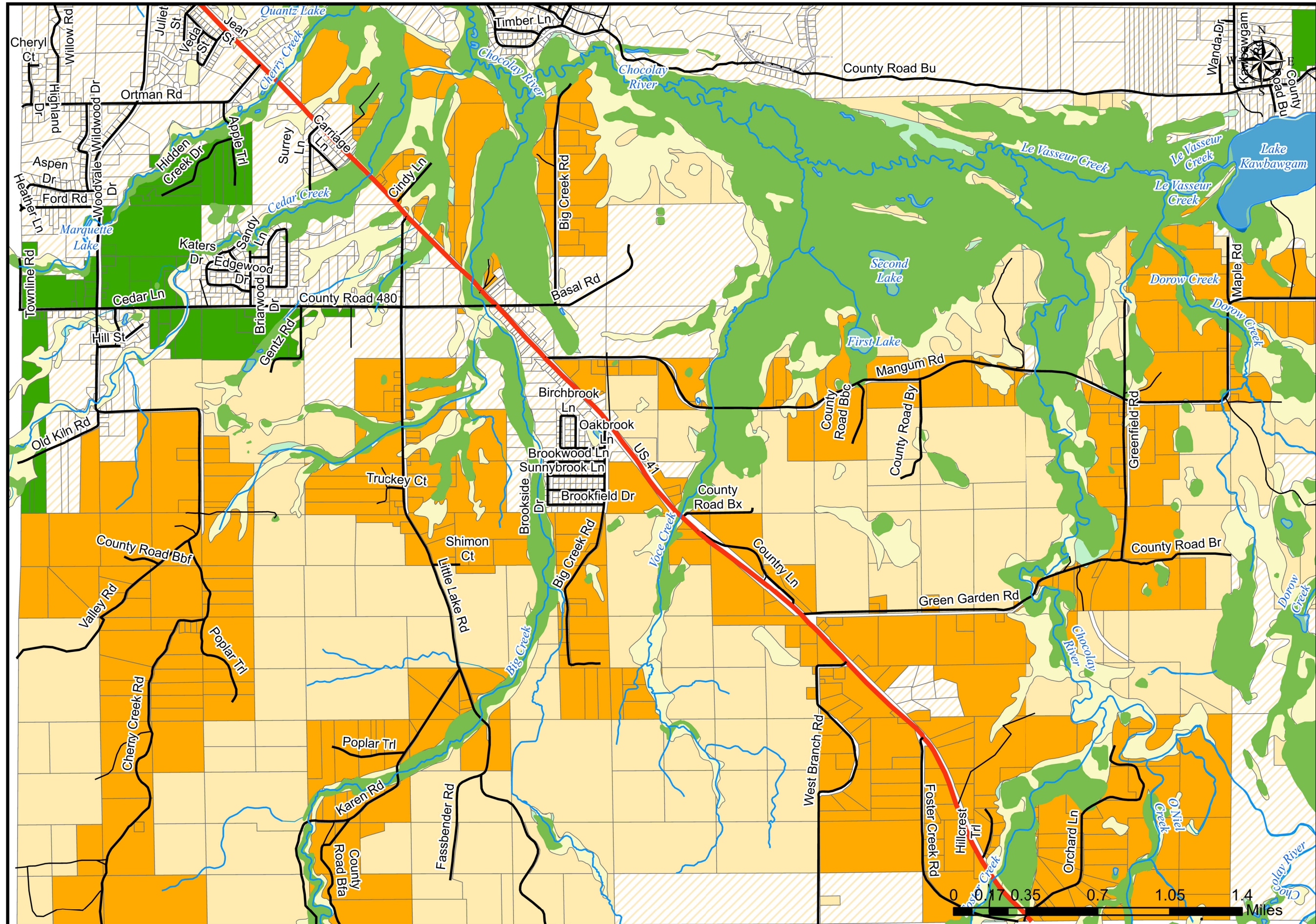
### Proposed AG Zoning Districts

- AG 1 - less than 3 acres
- AG 2 - 3 to 15 acres
- AG 3 - 15 acres or more
- Not AG Zoning

### Hydric Soils and Wetlands

- USA Wetlands
- Lake, Reservoir
  - Marsh, Swamp, Bog, Prairie
  - River
- EGLE Hydric Soils
- Hydric Soils
- Michigan Resource Inventory System (MIRIS)
- MIRIS Wetland Classes

Not intended for legal use





Charter Township of Chocolay

# Proposed AG Zoning Districts

Northeast

December 18, 2023

### Lakes, Rivers and Streams

- Lake
- Lake Superior
- River or stream

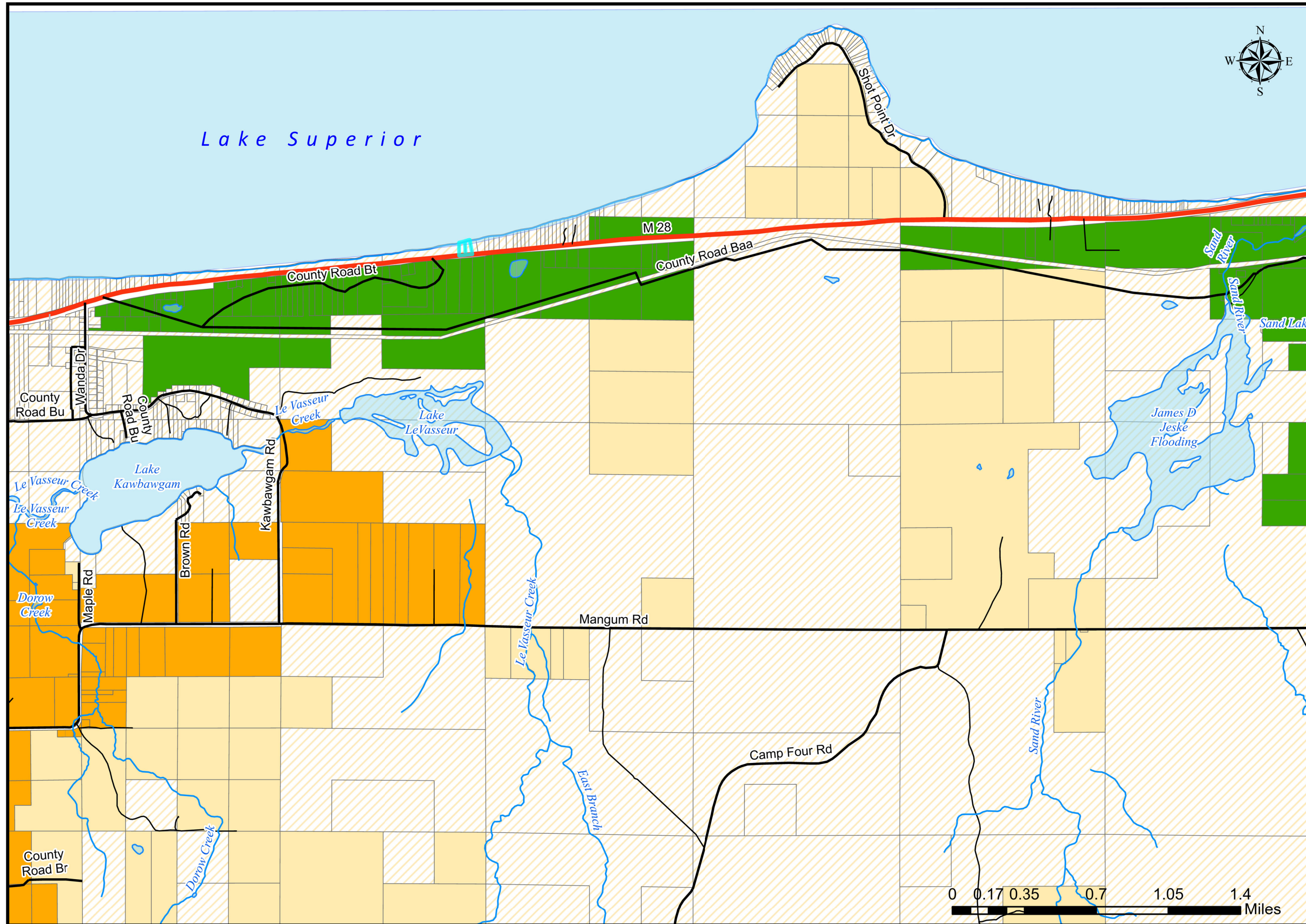
### Roads

- Highway
- Primary road
- Secondary road
- Unpaved / not classified

### Proposed AG Zoning Districts

- AG 1 - less than 3 acres
- AG 2 - 3 to 15 acres
- AG 3 - 15 acres or more
- Not AG Zoning

Not intended for legal use





Charter Township of Chocolay

# Proposed AG Zoning Districts Northeast

Northeast

December 18, 2023

### Lakes, Rivers and Streams

- Lake
- Lake Superior
- River or stream

### Roads

- Highway
- Primary road
- Secondary road
- Unpaved / not classified

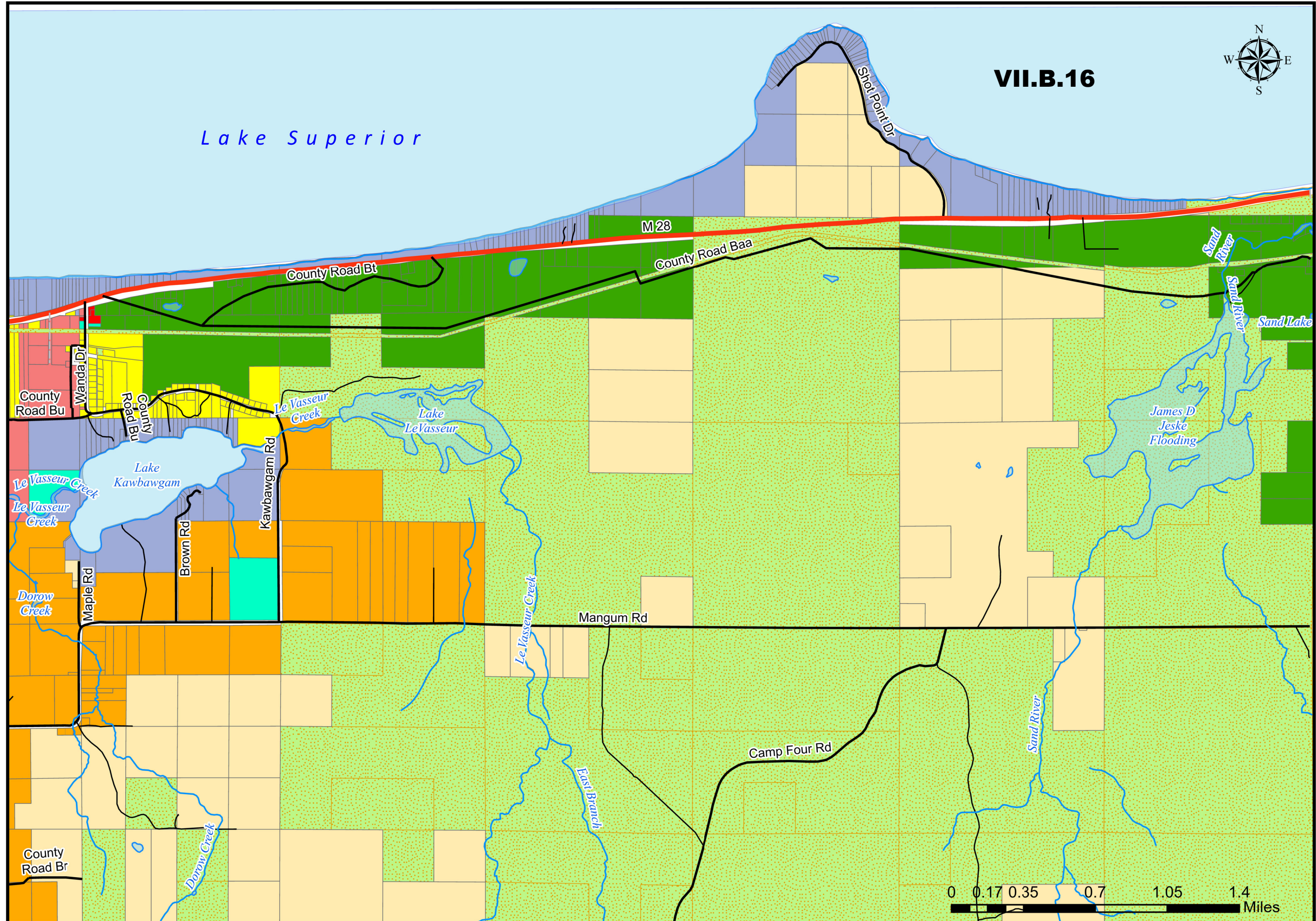
### Proposed AG Zoning Districts

- AG 1 - less than 3 acres
- AG 2 - 3 to 15 acres
- AG 3 - 15 acres or more

### Surrounding Zoning

- C
- KBIC
- MP
- R1
- State Lands
- WFR

Not intended for legal use



# VII.B.16





Charter Township of Chocolay

# Proposed AG Zoning Districts

Northeast

December 18, 2023

### Lakes, Rivers and Streams

- Lake
- Lake Superior
- River or stream

### Roads

- Highway
- Primary road
- Secondary road
- Unpaved / not classified

### Proposed AG Zoning Districts

- AG 1 - less than 3 acres
- AG 2 - 3 to 15 acres
- AG 3 - 15 acres or more
- Not AG Zoning

### Hydric Soils and Wetlands

- USA Wetlands
- Lake, Reservoir
  - Marsh, Swamp, Bog, Prairie
  - River

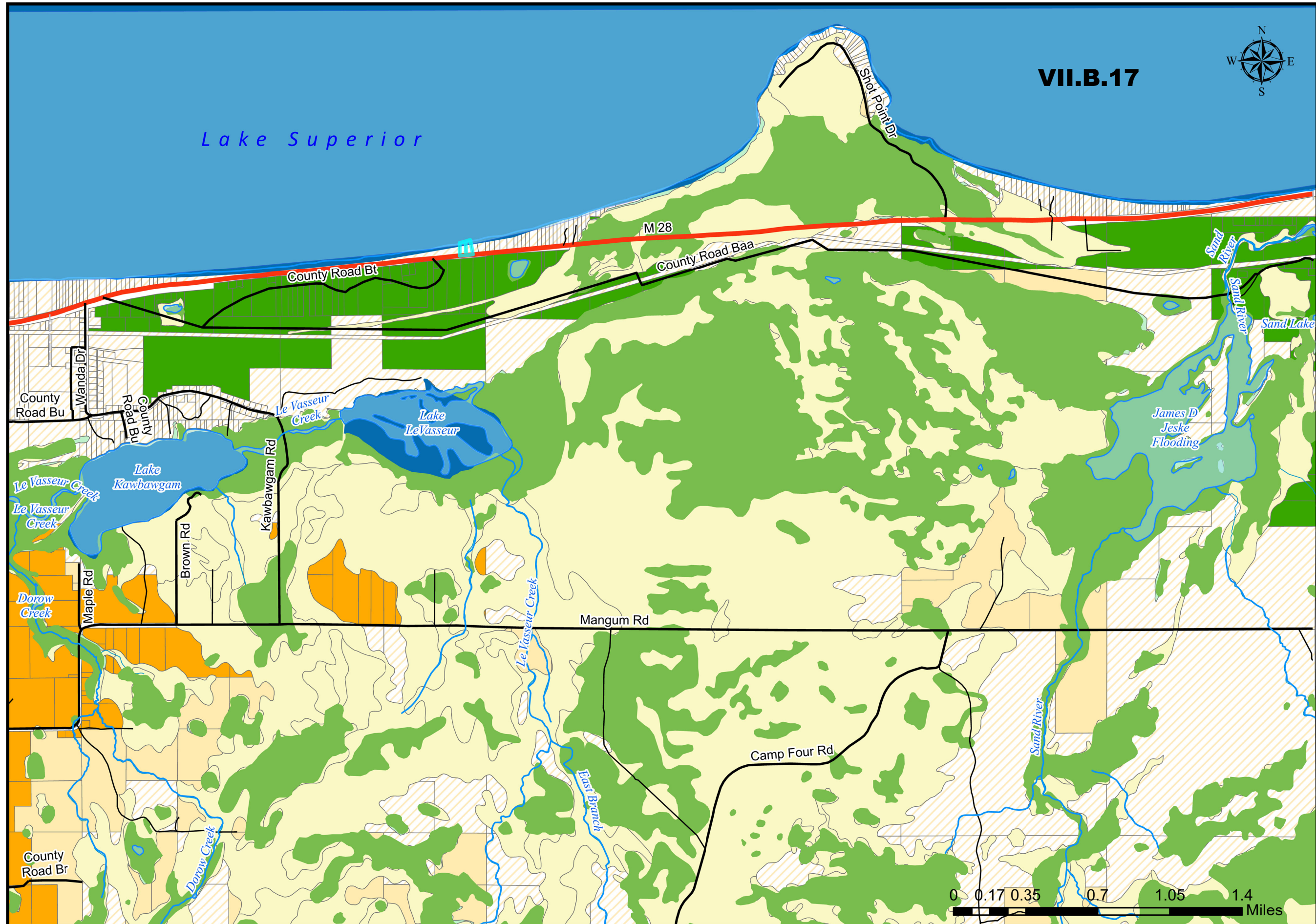
### EGLE Hydric Soils

- Hydric Soils

### Michigan Resource Inventory System (MIRIS)

- MIRIS Wetland Classes

Not intended for legal use





Charter Township of Chocolay

# Proposed AG Zoning Districts

Southeast

December 18, 2023

### Lakes, Rivers and Streams

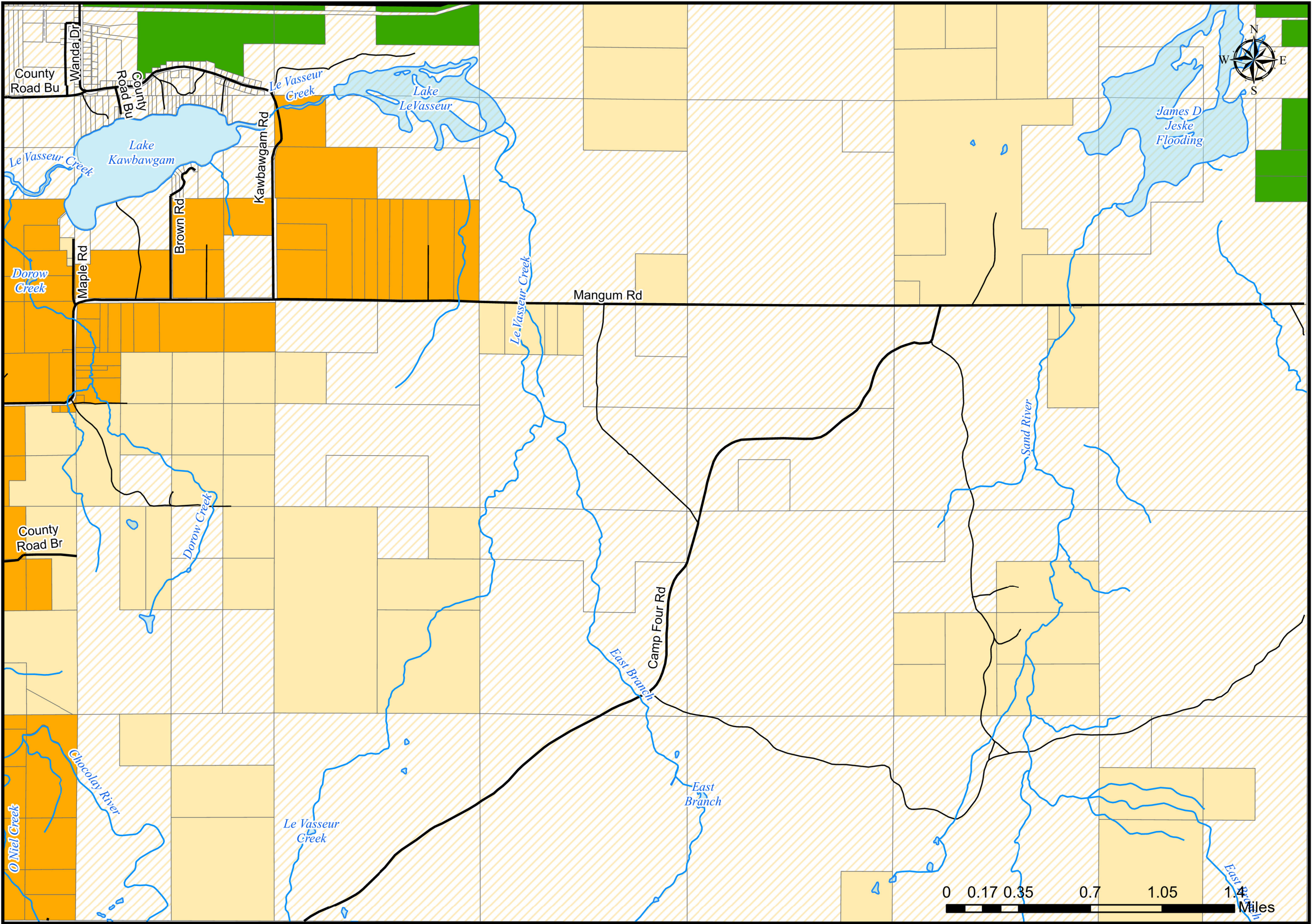
- Lake
- River or stream

### Roads

- Primary road
- Secondary road
- Unpaved / not classified

### Proposed AG Zoning Districts

- AG 1 - less than 3 acres
- AG 2 - 3 to 15 acres
- AG 3 - 15 acres or more
- Not AG Zoning



Not intended for legal use



Charter Township of Chocolay

# Proposed AG Zoning Districts

Southeast

December 18, 2023

### Lakes, Rivers and Streams

- Lake
- River or stream

### Roads

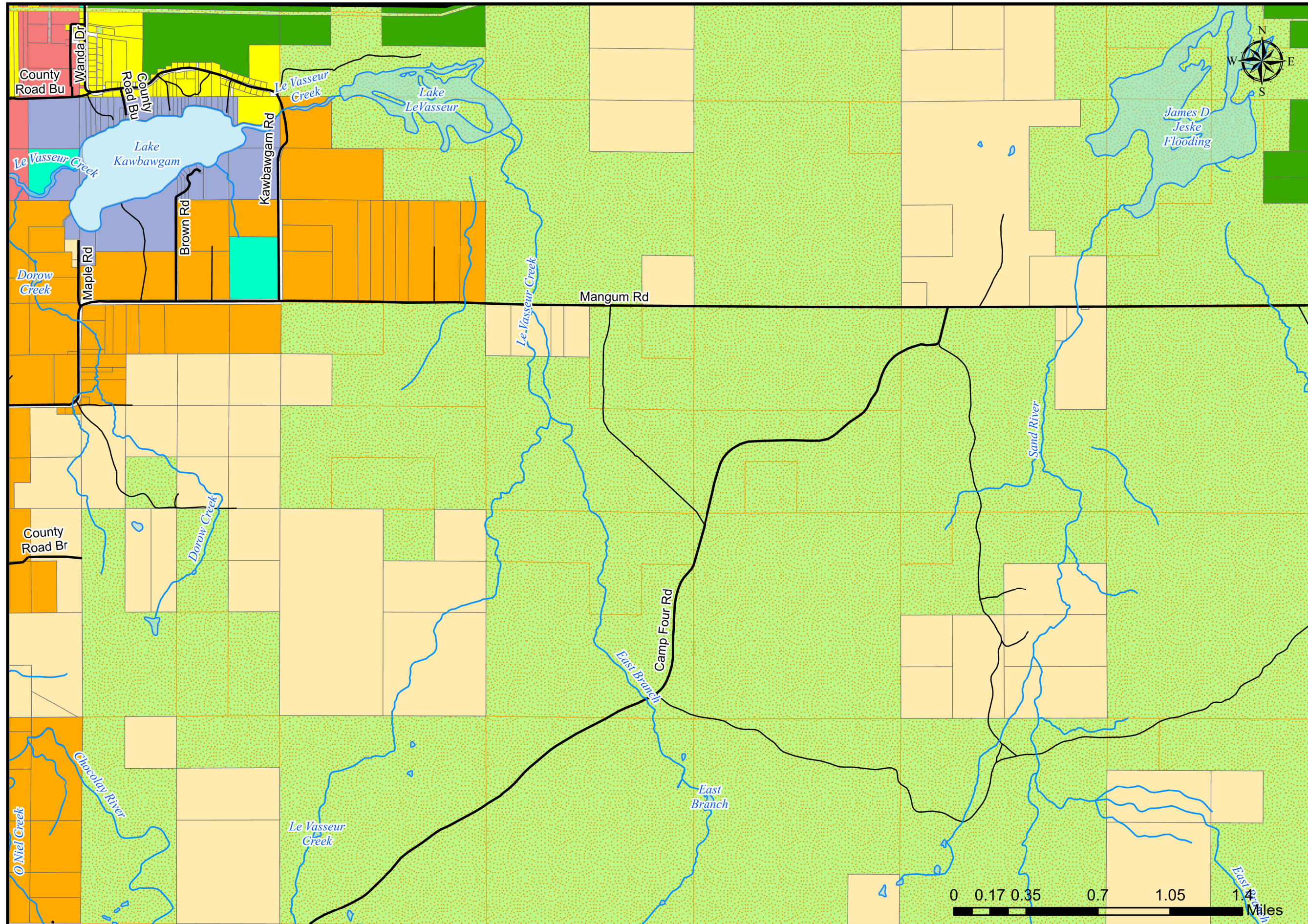
- Primary road
- Secondary road
- Unpaved / not classified

### Proposed AG Zoning Districts

- AG 1 - less than 3 acres
- AG 2 - 3 to 15 acres
- AG 3 - 15 acres or more

### Surrounding Zoning

- KBIC
- MP
- R1
- State Lands
- WFR



Not intended for legal use



Charter Township of Chocolay

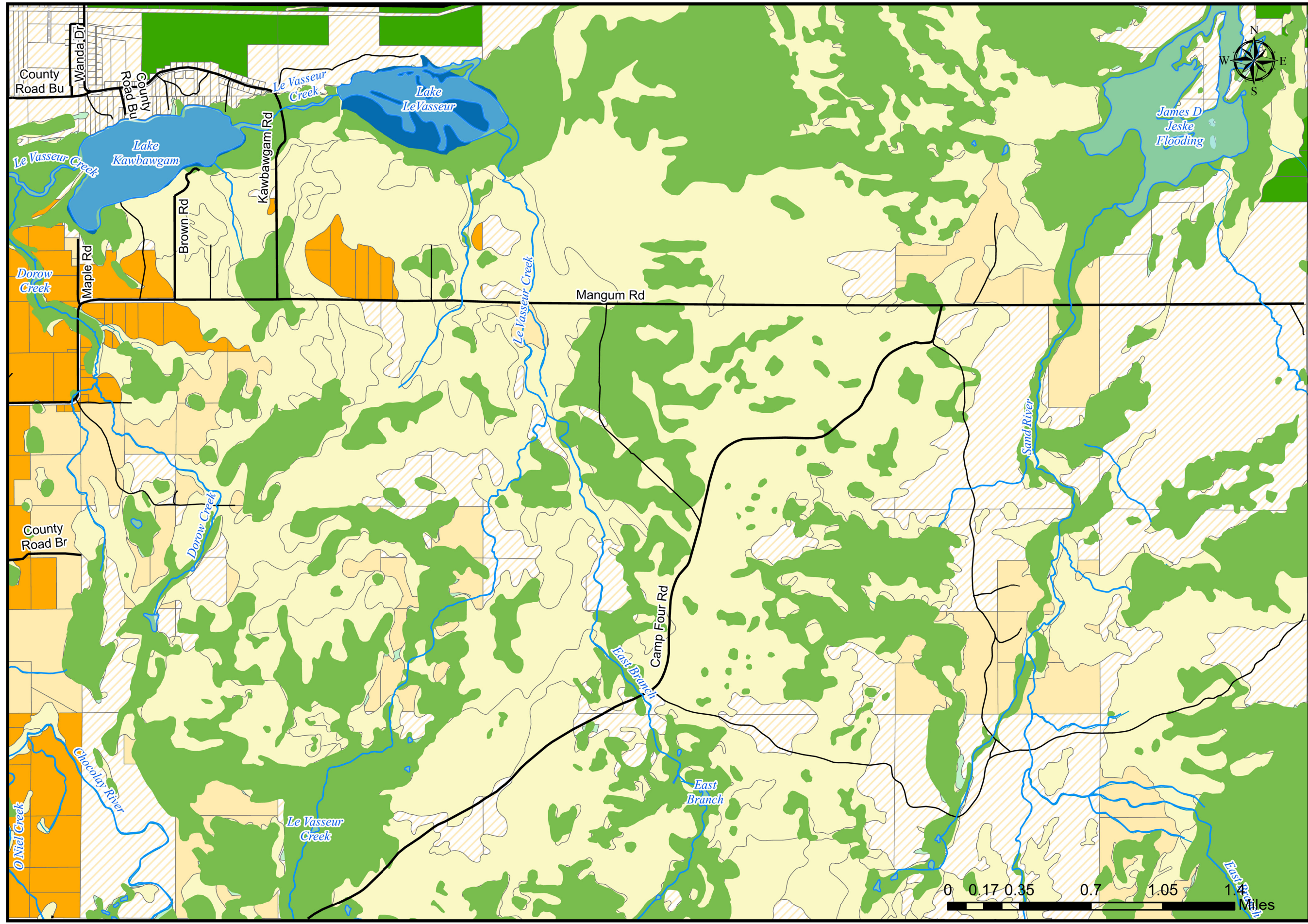
# Proposed AG Zoning Districts

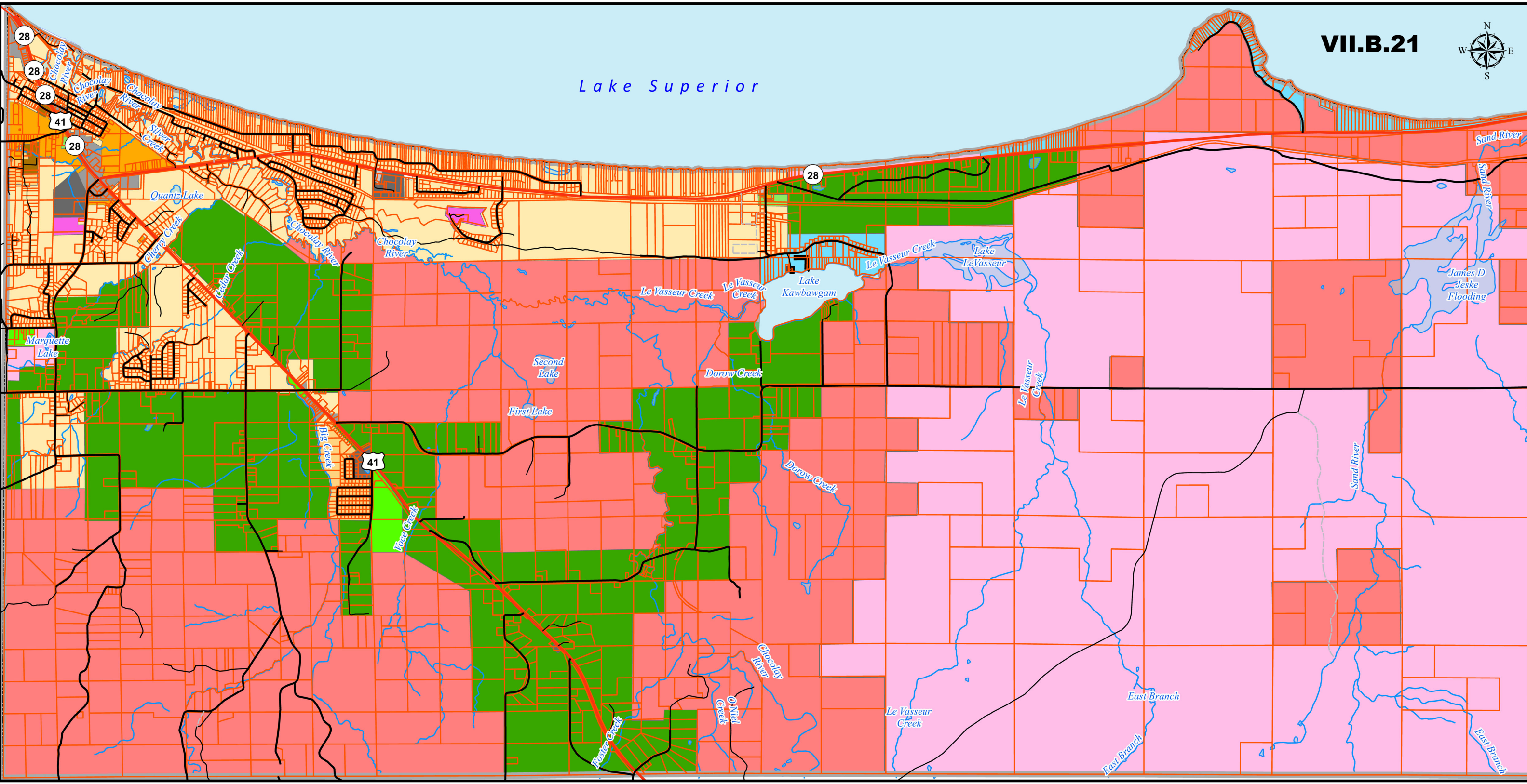
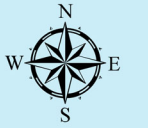

Southeast

December 18, 2023


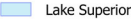




















- Lakes, Rivers and Streams**
  - Lake
  - River or stream
- Roads**
  - Primary road
  - Secondary road
  - Unpaved / not classified
- Proposed AG Zoning Districts**
  - AG 1 - less than 3 acres
  - AG 2 - 3 to 15 acres
  - AG 3 - 15 acres or more
  - Not AG Zoning
- Hydric Soils and Wetlands**
  - USA Wetlands**
    - Lake, Reservoir
    - Marsh, Swamp, Bog, Prairie
    - River
  - EGLE Hydric Soils**
    - Hydric Soils
  - Michigan Resource Inventory System (MIRIS)**
    - MIRIS Wetland Classes

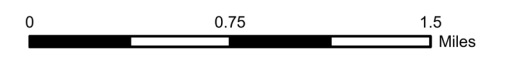
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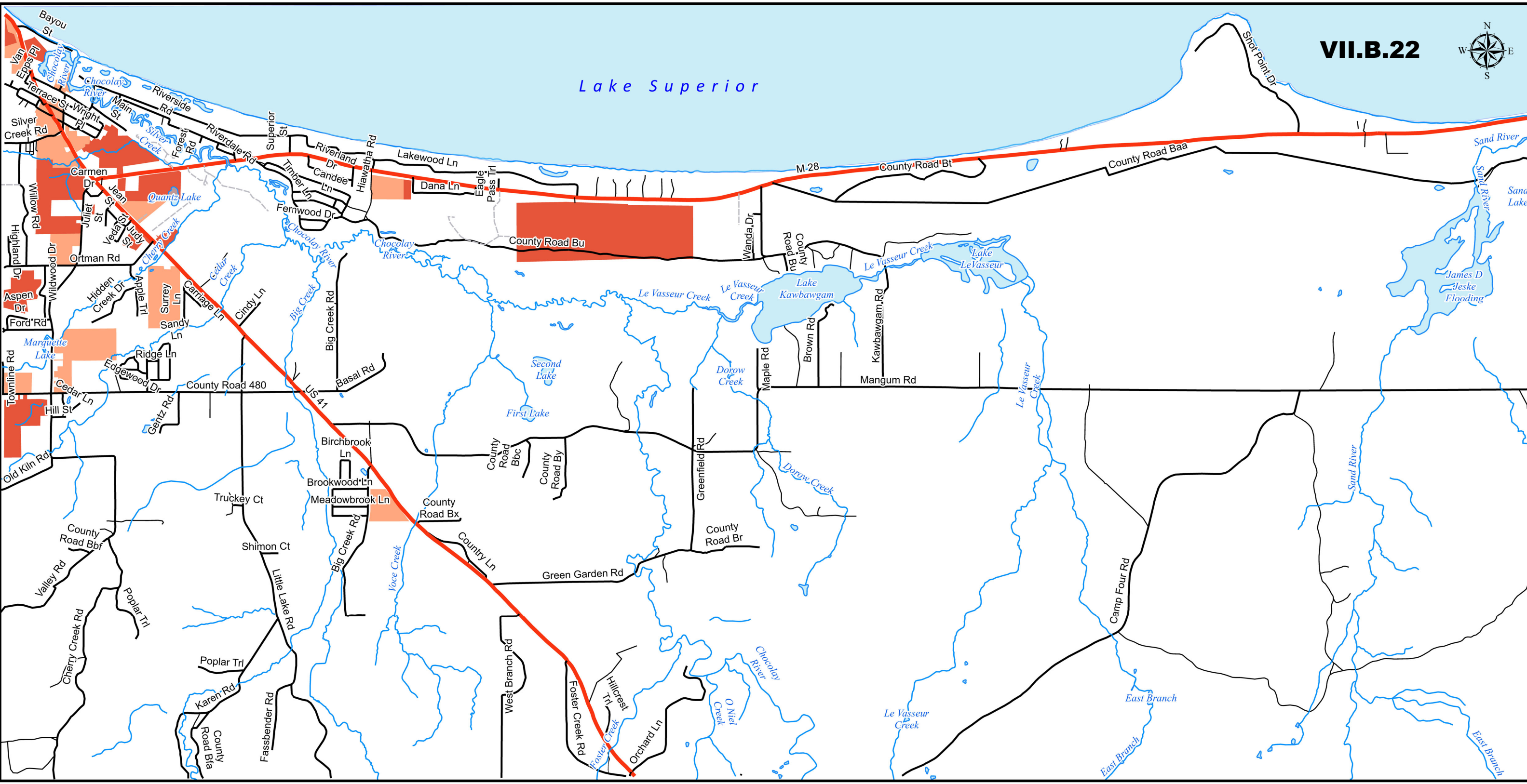
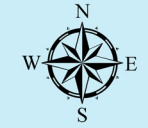



**Charter Township of Chocolay**  
**Zoning Map**  
 Township  
 Prior to 2008  
 Not intended for legal use










<p><b>Lakes, Rivers and Streams</b></p> <ul style="list-style-type: none"> <li> Lake</li> <li> Lake Superior</li> <li> River or stream</li> </ul>	<p><b>Roads</b></p> <ul style="list-style-type: none"> <li> Highway</li> <li> Primary road</li> <li> Secondary road</li> <li> Unpaved / not classified</li> </ul>	<p><b>Zoning districts prior to 2008 - all districts</b></p> <ul style="list-style-type: none"> <li> C-1 (Commercial 1)</li> <li> C-2 (Commercial 2)</li> <li> C-3 (Commercial 3)</li> <li> LS/R (Lakeshore and River)</li> <li> OS (Open Space)</li> <li> PUD (Planned Unit Development)</li> <li> Public Lands</li> <li> R-1 (Residential 1)</li> <li> R-2 (Residential 2)</li> <li> R-3 (Residential 3)</li> <li> R-4 (Residential 4)</li> <li> RP (Resource Production)</li> <li> RR-1 (Rural Residential 1)</li> <li> RR-2 (Rural Residential 2)</li> <li> no data available</li> </ul>
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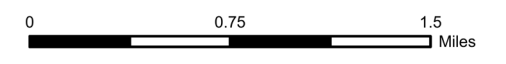


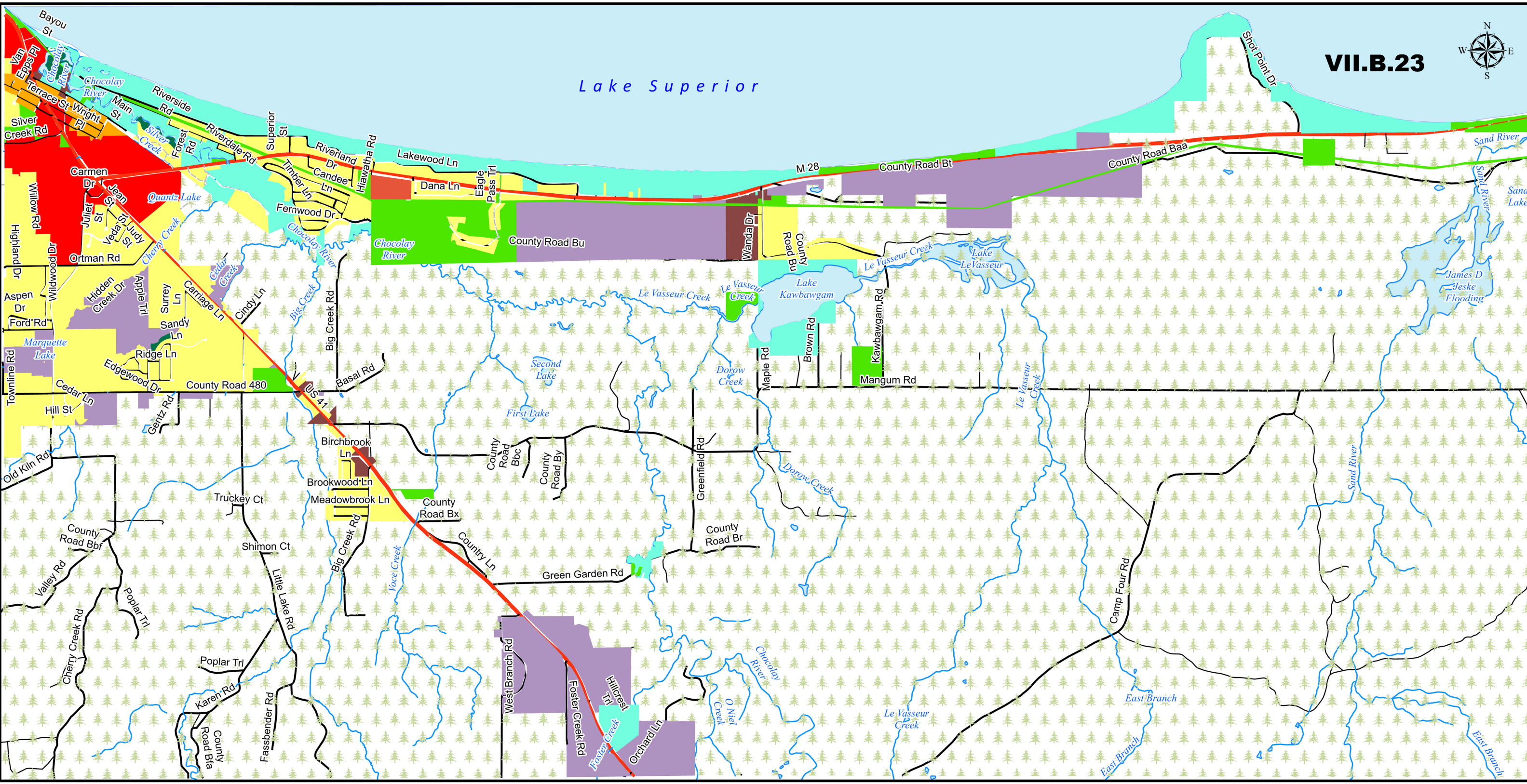
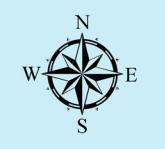



Charter Township of Chocolay  
**Future Growth Sectors**  
 2021

Township  
 September 18, 2023  
 Not intended for legal use

- |   |  |  |
|---|--|--|
| <b>Lakes, Rivers and Streams</b>  | <b>Roads</b>   | <b>Future Growth</b>   |
|  Lake            |  Highway                  |  Growth |
|  Lake Superior   |  Primary road             |  Infill |
|  River or stream |  Secondary road           |  |
|   |  Unpaved / not classified |  |





**CHARTER TOWNSHIP OF CHOCOLAY**

Charter Township of Chocolay

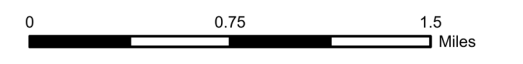
**Future Land Use 2021**

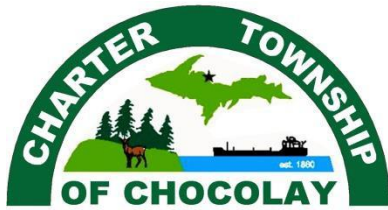
Township

**September 18, 2023**

Not intended for legal use

Lakes, Rivers and Streams	Roads	Future Land Use
Lake	Highway	AF
Lake Superior	Primary road	CR
River or stream	Secondary road	MU-C
	Unpaved / not classified	MU-N
		MU-V
		P
		R-N
		R-R
		R-V
		R-W





## Charter Township of Chocolay

### Planning and Zoning Department

5010 US 41 South

Marquette, MI 49855

Phone: 906-249-1448

Fax: 906-249-1313

**Issue Brief:** Preliminary Site Plan Review – Dollar General Store # 30520

**Meeting: Planning Commission Meeting**

**Date: December 18, 2023**

### Issue Summary

Review of a preliminary site plan for a retail store to be located at 4050 US 41 South.

### Background

Dollar General Stores has approached the Township with a plan to construct a retail store at the intersection of US 41 South and Silver Creek Road on the west side of the highway. The site is the location of a former church and business location.

The applicant has requested a preliminary site plan review to determine if this is a viable project for that location (see attached plan).

### Staff Research

In reviewing the project, staff has found that:

- 1) The proposed project will be located on a property the owner controls.
- 2) The project will meet all setback requirements for the site.
- 3) The underlying zoning for the property is R-1 (Residential). However, the property is included in the mixed use overlay district.
- 4) The project meets the zoning ordinance requirements for the mixed use overlay district as a permitted use.
- 5) Traffic at this site, both vehicle and pedestrian, will be a consideration. This project will have traffic from US 41 South cutting across the existing bike path to access the proposed store.

### Staff Recommendations for Commissioner Discussion

Staff is recommending the Planning Commission members:

- 1) Review the proposed project using the attached *Site Plan Review Checklist* and be prepared to provide comments to the applicant for project considerations.

---

Author: Dale Throenle

Date: December 5, 2023

### Attachments

1. *Proposed Project Location Aerial View*
2. *Preliminary Site Plan – Dollar General Store # 30520*
3. *Site Plan Review Checklist*



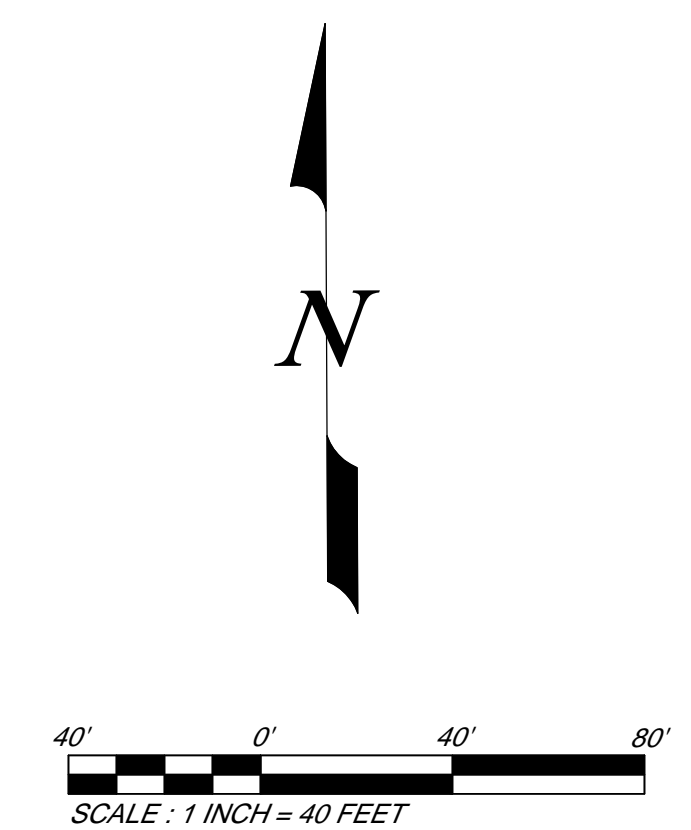
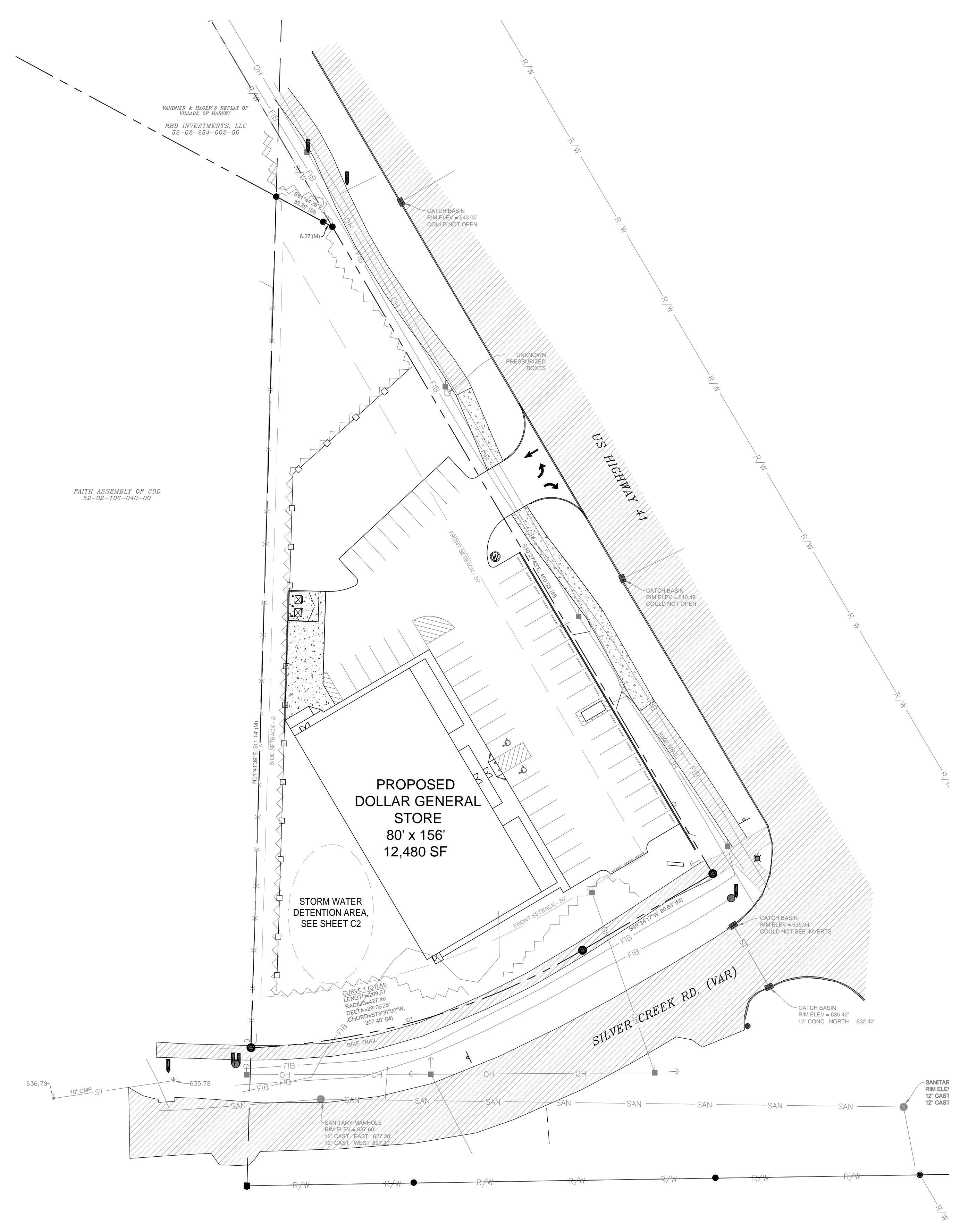
# VIII.A.2

Proposed Project Location Aerial View



# DOLLAR GENERAL STORE #30520

4050 U.S. HIGHWAY 41  
HARVEY, MICHIGAN 49855



**SITE DEVELOPMENT DATA**  
 LOT AREA = 1.804 ACRES  
 PROPOSED BUILDING  
 GROSS AREA = 12,480 S.F.  
 SALES AREA = 9,868 S.F.  
 HEIGHT = 21'-0"  
 NUMBER OF STORIES = 1  
 PARKING SPACES  
 REQUIRED VEHICLE = 9,868 S.F. / 200 = 49 SPACES  
 PROVIDED VEHICLE = 49 SPACES  
 ZONING: R-1 WITH MIXED USE OVERLAY  
 EXISTING USE: VACANT BUILDING  
 FRONT SETBACK: 30' (REQUIRED)  
 FRONT SETBACK: 87.4' (US41 - ACTUAL)  
 FRONT SETBACK: 33.4' (SILVER CREEK RD - ACTUAL)  
 SIDE SETBACK: 5' (REQUIRED)  
 REAR SETBACK: 20.6' (ACTUAL)  
 EXISTING IMPERVIOUS AREA = 6,778 S.F.  
 PROPOSED IMPERVIOUS AREA = 39,058 S.F.  
 NET IMPERVIOUS AREA = 32,280 S.F.

- SYMBOL LIBRARY**
- SIGN POST
  - POWER POLE
  - GUY ANCHOR
  - LIGHT POLE
  - WELL
  - MAILBOX
  - SANITARY MANHOLE
  - GAS METER
  - INVERT ELEVATION
  - NATURAL GAS MARKER
  - FIBER MARKER
  - CONIFEROUS TREE
  - DECIDUOUS TREE
  - FIBER MANHOLE
  - SET MAGNAIL WWASHER
  - BEEHIVE CATCH BASIN
  - CURB INLET CATCH BASIN

- LINE LIBRARY**
- BUILDING OUTLINE
  - PROPERTY LINE
  - RIGHT OF WAY LINE
  - TREELINE
  - UNDERGROUND SANITARY
  - OVERHEAD ELECTRIC
  - CULVERT
  - FENCE LINE
  - INDEX CONTOUR
  - INTERMEDIATE CONTOUR
  - STORM MAIN
  - FIBER
  - NATURAL GAS MAIN
  - BUILDING SETBACKS

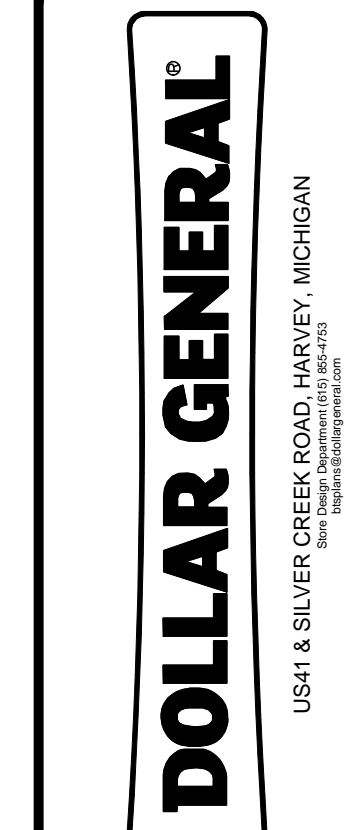
**OWNER**  
 PORTAGE ST. LLC  
 P.O. BOX 448  
 NEGAUNEE, MICHIGAN 49866  
 906-250-9632 (VOICE)

**DEVELOPER**  
 DGOHARVEYMI09202023 LLC  
 1906 EAST BATTLEFIELD ROAD  
 SPRINGFIELD, MISSOURI 65804  
 417-256-4790 (VOICE)

**ENGINEER**  
 OVERLAND ENGINEERING, LLC  
 1598 IMPERIAL CENTER, SUITE 2009  
 WEST PLAINS, MISSOURI 65775  
 417-256-8150 (VOICE)



**UTILITY DISCLAIMER**  
 EXISTING UNDERGROUND UTILITIES AND BURIED STRUCTURES IN THE VICINITY OF THE WORK TO BE PERFORMED HEREIN ARE INDICATED ON THE DRAWINGS ONLY TO THE EXTENT THAT SUCH INFORMATION HAS BEEN MADE AVAILABLE TO OR DISCOVERED BY THE ENGINEER IN THE PREPARATION OF THE DRAWINGS. THERE IS NO GUARANTEE AS TO THE ACCURACY OR THE COMPLETENESS OF SUCH INFORMATION AND ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS THEREOF IS EXPRESSLY DISCLAIMED.



NO.	DATE	DESCRIPTION	BY



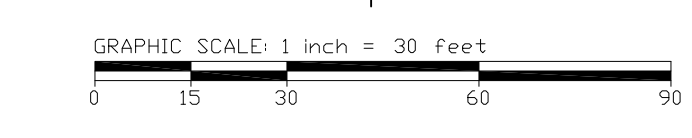
**Overland ENGINEERING, LLC**  
 1598 IMPERIAL CIR., STE. 2009 WEST PLAINS, MO 65775  
 PHONE: (417) 256-8150 FAX: (417) 256-8152  
 oae@overlandeng.com

DOLLAR GENERAL  
 HARVEY, MICHIGAN  
 COVER SHEET

SHEET  
**CVR**

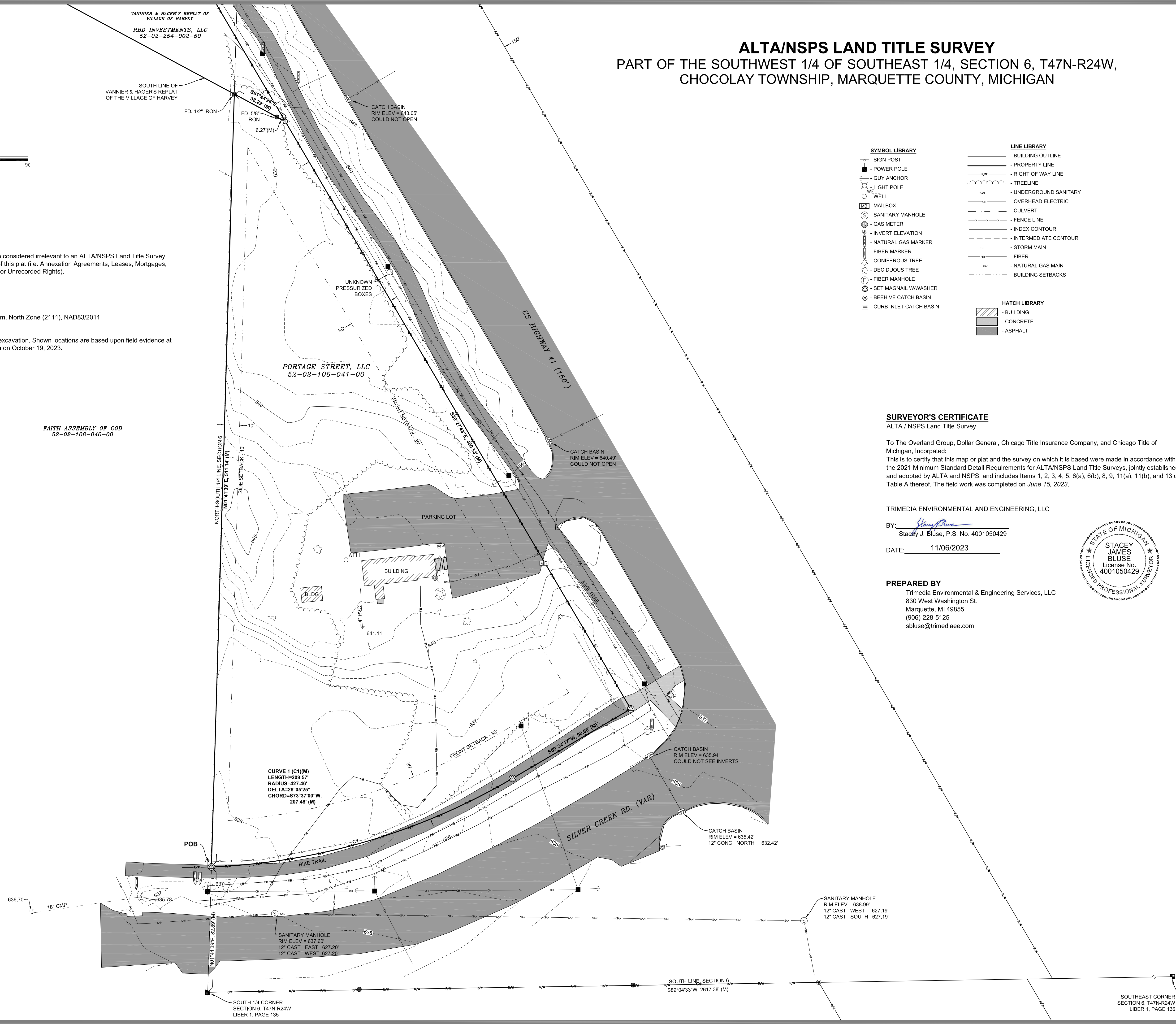
# ALTA/NSPS LAND TITLE SURVEY

## PART OF THE SOUTHWEST 1/4 OF SOUTHEAST 1/4, SECTION 6, T47N-R24W, CHOCOLAY TOWNSHIP, MARQUETTE COUNTY, MICHIGAN



### SURVEY NOTES

- Other commitment items not specified hereon may have been considered irrelevant to an ALTA/NSPS Land Title Survey and have not been reviewed in conjunction with preparation of this plat (i.e. Annexation Agreements, Leases, Mortgages, Liens, Special Assessments, Covenants, Trusts, Unspecified or Unrecorded Rights).
- (M) - Indicates TriMedia measured dimensions  
(R) - Indicates record dimensions  
(C) - Indicates calculated dimensions
- Units: International Feet
- Vertical Datum: NAVD88
- Bearings based upon Michigan State Plane Coordinate System, North Zone (2111), NAD83/2011
- Field survey completed October 10, 2023
- 1-Foot Contour Interval
- Connectivity of underground utilities must be verified prior to excavation. Shown locations are based upon field evidence at time of survey and private utility locate performed by TriMedia on October 19, 2023.



- SYMBOL LIBRARY**

  - SIGN POST
  - POWER POLE
  - GUY ANCHOR
  - LIGHT POLE
  - WELL
  - MAILBOX
  - SANITARY MANHOLE
  - GAS METER
  - INVERT ELEVATION
  - NATURAL GAS MARKER
  - FIBER MARKER
  - CONIFEROUS TREE
  - DECIDUOUS TREE
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  - SET MAGNAIL WWASHER
  - BEEHIVE CATCH BASIN
  - CURB INLET CATCH BASIN

**LINE LIBRARY**

  - BUILDING OUTLINE
  - PROPERTY LINE
  - RIGHT OF WAY LINE
  - TREELINE
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  - OVERHEAD ELECTRIC
  - CULVERT
  - FENCE LINE
  - INDEX CONTOUR
  - INTERMEDIATE CONTOUR
  - STORM MAIN
  - FIBER
  - NATURAL GAS MAIN
  - BUILDING SETBACKS
- HATCH LIBRARY**

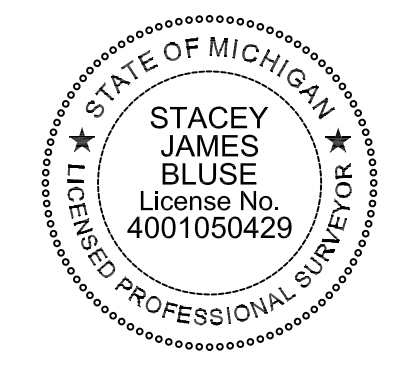
  - ▨ BUILDING
  - ▨ CONCRETE
  - ▨ ASPHALT

### SURVEYOR'S CERTIFICATE

ALTA / NSPS Land Title Survey

To The Overland Group, Dollar General, Chicago Title Insurance Company, and Chicago Title of Michigan, Incorporated:  
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 6(b), 8, 9, 11(a), 11(b), and 13 of Table A thereof. The field work was completed on June 15, 2023.

TRIMEDIA ENVIRONMENTAL AND ENGINEERING, LLC  
 BY: *Stacey J. Bluse*  
 Stacey J. Bluse, P.S. No. 4001050429  
 DATE: 11/06/2023



**PREPARED BY**  
 Trimedia Environmental & Engineering Services, LLC  
 830 West Washington St.  
 Marquette, MI 49855  
 (906)-228-5125  
 sbluse@trimediaee.com



DOLLAR GENERAL  
 VILLAGE OF HARVEY  
 CHOCOLAY TOWNSHIP, MARQUETTE CO., MI

DATE	DESCRIPTION	ISSUED
11/06/23		SUBMITTAL
		APPROVED

DESIGNED: JBS  
 DRAWN: JBS  
 CHECKED: SJB  
 APPROVED: SJB

TRIMEDIA  
 JOB NUMBER:  
 2023-3160  
 SHEET TITLE:  
 ALTA/NSPS  
 Land Title  
 Survey  
 SHEET NUMBER:  
 1 OF 2

P:\2023\2023-3160 The Overland Group - Harvey ALTA Survey Drawings\2023-3160 DG Harvey ALTA Survey.dwg

FAITH ASSEMBLY OF GOD  
 52-02-106-040-00

VANNIER & HAGER'S REPLAT OF  
 VILLAGE OF HARVEY  
 RBD INVESTMENTS, LLC  
 52-02-254-002-50

PORTAGE STREET, LLC  
 52-02-106-041-00

**CURVE 1 (C1)(M)**  
 LENGTH=209.57'  
 RADIUS=427.46'  
 DELTA=28°05'25"  
 CHORD=573°37'00"W,  
 207.48' (M)

SANITARY MANHOLE  
 RIM ELEV = 637.60'  
 12" CAST EAST 627.20'  
 12" CAST WEST 627.20'

SANITARY MANHOLE  
 RIM ELEV = 638.99'  
 12" CAST WEST 627.19'  
 12" CAST SOUTH 627.19'

SOUTH LINE, SECTION 6  
 S89°04'33"W, 2617.38' (M)

SOUTHEAST CORNER  
 SECTION 6, T47N-R24W  
 LIBER 1, PAGE 136

SOUTH 1/4 CORNER  
 SECTION 6, T47N-R24W  
 LIBER 1, PAGE 135

**SURVEYED LEGAL DESCRIPTION**

A parcel of land being part of the Southwest Quarter (SW 1/4) of the Southeast Quarter (SE 1/4), Section 6, T47N-R24W, Chocolay Township, Marquette County, Michigan described as:  
 Commencing at the Southeast corner of Section 6; thence S89°04'33"W, 2617.38 feet along the South line of Section 6 to the South 1/4 corner of Section 6; thence N01°41'39"E, 82.89 feet along the North-South 1/4 line of Section 6 to the North right of way line of Silver Creek Road and the **Point of Beginning**; thence continuing N01°41'39"E, 511.14 feet along the North-South 1/4 line; thence S61°44'26"E, 38.29 feet to the West right of way line of Highway US-41; thence S30°27'43"E, 450.53 feet along the West right of way line of Highway US-41 to the North right of way line of Silver Creek Road; thence S59°34'17"W, 90.68 feet along the North right of way line of Silver Creek Road to a curve; thence 209.57 feet on a curve to the **Right** along the North right of way line of Silver Creek Road having a **Radius of 427.46 feet**, a **Delta angle of 28°05'25"** and a **Chord bearing S73°37'00"W, 207.48 feet to the Point of Beginning**, containing **1.804 acres** and subject to restrictions, reservations, rights of way and easements of record.

**SCHEDULE A, LEGAL DESCRIPTION**

Land Situated in the State of Michigan, County of Marquette, Township of Chocolay.

All that part of the Southwest 1/4 of Southeast 1/4 of Section 6, Township 47 North, Range 24 West, which lies South of the Village of Harvey and West of the West line of Highway US 41 right of way as now laid out and in use ( f/k/a Coming Avenue produced as said Avenue is now located and used), Except Silver Creek Road right of way and except clear vision area.

**SCHEDULE B, PART II - Exceptions**

Issued through Chicago Title Insurance Company, Commitment Number 521213865NTS, with an effective date of August 29, 2023, has been reviewed in conjunction with the preparation of this survey. Notes related to the review of this title policy, Schedule B, Part II Exceptions are as follows:

Some historical land records contain Discriminatory Covenants that are illegal and unenforceable by law. This Commitment and the Policy treat any Discriminatory Covenant in a document referenced in Schedule B as if each Discriminatory Covenant is redacted, repudiated, removed, and not republished or recirculated. Only the remaining provisions of the document will be excepted from coverage.

The Policy will not insure against loss or damage resulting from the terms and conditions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I-Requirements are met. - **None found**
2. a. Rights or claims of parties in possession not shown by the Public Records.  
 b. Any encroachment, encumbrance, violation, variation or adverse circumstance affecting the Title that would be disclosed by an accurate and complete survey of the Land. - **None found**  
 c. Easements or claims of easements not shown by the Public Records and existing water, mineral, oil and exploration rights. - **None found**  
 d. Any lien, or right to a lien, for services, labor, or material, heretofore or hereafter furnished, imposed by law and not shown by the Public Records. - **None found**  
 e. Any and all oil, gas, mineral, mining rights and/or reservations thereof. - **None found**  
 f. Taxes or special assessments which are not shown as existing liens by the Public Records. - **None found**
3. Intentionally omitted.
4. Intentionally omitted.
5. Intentionally omitted.
6. Easement rights in favor of any and all utility companies, public or otherwise, over and across the Land for the location, servicing and maintenance of facilities located on, over or under said Land, if any. - **Not mappable**
7. Rights of tenants under unrecorded leases and any and all parties claiming by, through and thereunder. - **Not mappable**
8. Any and all oil, gas and mineral rights and reservations of every kind and nature whether recorded or unrecorded and all rights pertinent thereto. - **Not mappable**
9. Rights of the public to any portion of the Land lying within the bounds of any street, road, alley or highway. - **Public right of ways shown on page 1 of 2**
10. Taxes and/or assessments which become a lien or become due and payable subsequent to the effective date herein. - **Not mappable**

**TABLE A NOTES**

1. Monuments placed (or a reference monument or witness to the corner) at all major corners of the boundary of the surveyed property, unless already marked or referenced by existing monuments or witnesses in close proximity to the corner. - **Shown on page 1 of 2**
2. Address(es) of the surveyed property if disclosed in documents provided to or obtained by the surveyor, or observed while conducting the fieldwork.  
 Provided address of surveyed property is: **4050 U.S. Highway 41 S, Marquette, MI 49855**
3. Flood zone classification (with proper annotation based on federal Flood Insurance Rate Maps or the state or local equivalent) depicted by scaled map location and graphic plotting only. **Flood zone Classification: Zone "X"**
4. Gross land area (and other areas if specified by the client: **Gross land area is 1.804 acres.**
5. Vertical relief with the source of information (e.g., ground survey, aerial map), contour interval, datum, with orinating benchmark, when appropriate. - **Shown on page 1 of 2**
6. (a) If the current zoning classification, setback requirement, the height and floor space area restrictions, and parking requirements specific to the surveyed property are set forth in a zoning report or letter provided to the surveyor by the client or the client's designated representative, list the above items on the plat or map and identify the date and source of the report or letter.  
**Zoned: Residential (R-1)**  
**Setbacks: Front - 30', Side - 10', (No Rear setback on this property)**  
**Height Restrictions: 30'**  
**Parking requirements: 1 per 200 Square Feet of floor space and outdoor sales space**  
 (b) If the zoning setback requirements specific to the surveyed property are set forth in a zoning report or letter provided to the surveyor the client or the client's designated representative, and if those requirements do not require an interpretation by the surveyor, graphically depict those requirements on the plat or map and identify the date and source of the report or letter. - **Shown on page 1 of 2**
8. Substantial features observed in the process of conducting the fieldwork (in addition to the improvements and features required pursuant to Section 5 above) (e.g., parking lots, billboards, signs, swimming pools, landscaped areas, substantial areas of refuse). - **Shown on page 1 of 2**
9. Number and type (e.g., disabled, motorcycle, regular, and other marked specialized types) of clearly identifiable parking spaces on surface parking areas, lots, and in parking structures. Stripping of clearly identifiable parking spaces on surface parking areas and lots.  
**The property is has a paved parking area, but there are no visible parking spaces.**

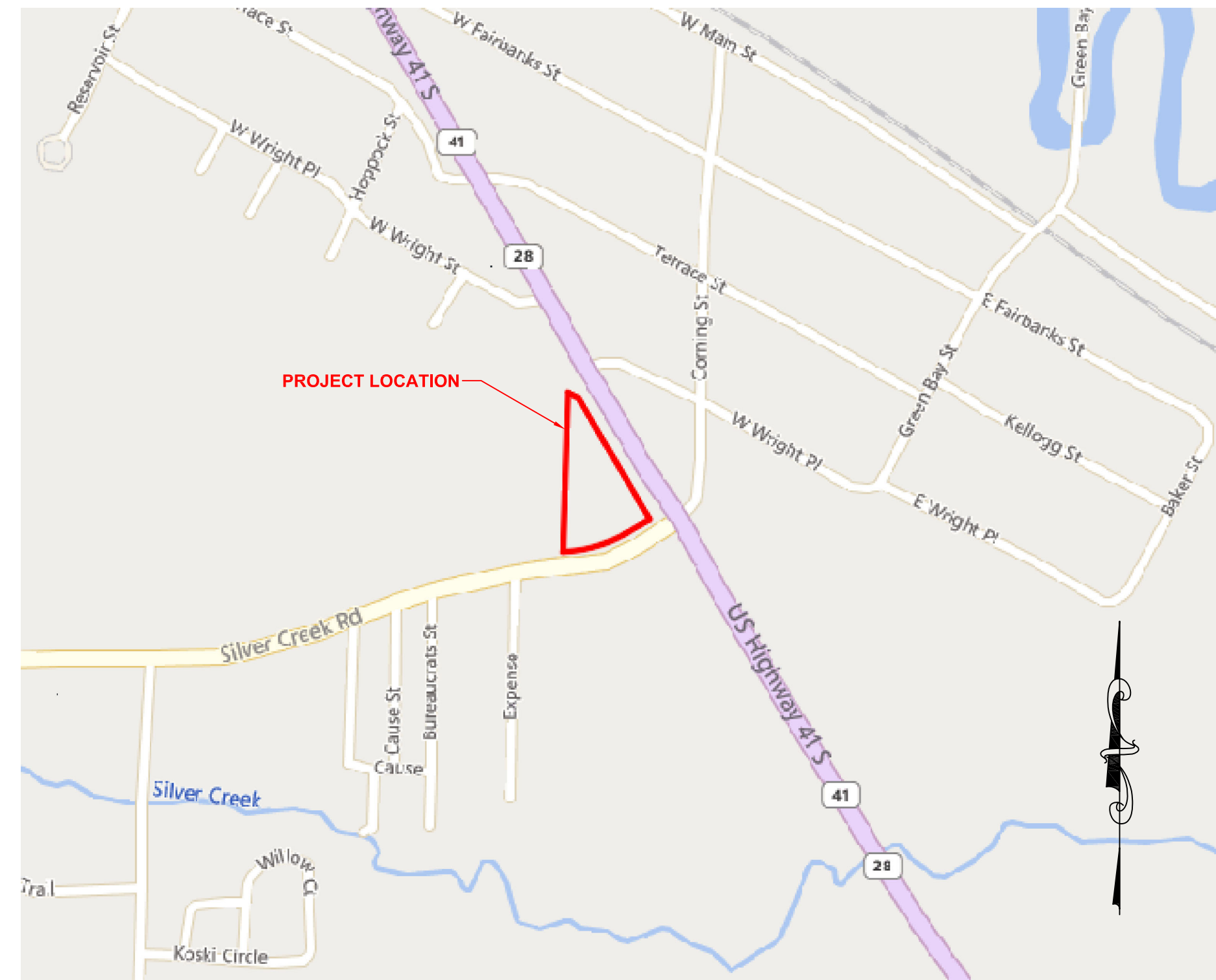
11. Evidence of underground utilities existing on or serving the surveyed property (in addition to the observed evidence of utilities required pursuant to Section 5.E.iv.) as determined by:

- (a) plans and/or reports provided by client (with reference as to the sources of information) - **Utilities shown on Page 1 of 2**
- (b) markings coordinated by the surveyor pursuant to a private utility locate request - **A Miss Dig Design Ticket #2023100200798-000 was submitted for this survey and a private utility locate was performed. The results are shown on page 1 of 2.**

Note to the client, insurer, and lender – With regard to Table A, item 11, information from the utility company sources will be combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response, in which case the surveyor shall note on the plat or map how this affected the surveyor's assessment of the location of the utilities. Where additional or more detailed information is required, the client is advised that excavation may be necessary.

13. Names of adjoining owners according to current tax records. If more than one owner, identify the first owner's name listed in the tax records followed by "et al."  
 - **Shown on Page 1 of 2**

15. Rectified orthophotography, photogrammetric mapping, remote sensing, airborne/mobile laser scanning and other similar products, tools or technologies as the basis for showing the location of certain features (excluding boundaries) where ground measurements are not otherwise necessary to locate those features to an appropriate and acceptable accuracy relative to a nearby boundary. The surveyor must (a) discuss the ramifications of such methodologies (e.g., the potential precision and completeness of the data gathered thereby) with the insurer, lender, and client prior to the performance of the survey, and (b) place a note on the face of the survey explaining the source, date, precision, and other relevant qualifications of any such data.



**VICINITY MAP**  
NOT TO SCALE

**ALTA/NSPS LAND TITLE SURVEY**  
 PART OF THE SOUTHWEST 1/4 OF SOUTHEAST 1/4, SECTION 6, T47N-R24W,  
 CHOCOLAY TOWNSHIP, MARQUETTE COUNTY, MICHIGAN

**SURVEYOR'S CERTIFICATE**

ALTA / NSPS Land Title Survey

To The Overland Group, Dollar General, Chicago Title Insurance Company, Chicago Title of Michigan, Incorporated, and Portage Street LLC, a Michigan Limited Liability Company:  
 This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 6(b), 8, 9, 11(a), 11(b), and 13 of Table A thereof. The field work was completed on October 10, 2023.

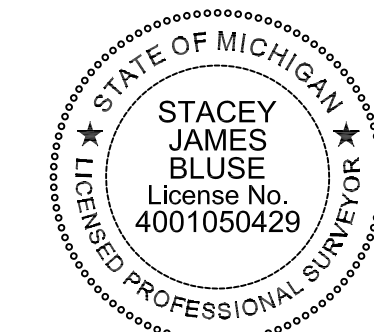
TRIMEDIA ENVIRONMENTAL AND ENGINEERING, LLC

By: *Stacey J. Bluse*  
 Stacey J. Bluse, P.S. No. 4001050429

Date: 11/06/2023

**PREPARED BY**

Trimedia Environmental & Engineering Services, LLC  
 830 West Washington St.  
 Marquette, MI 49855  
 (906)-228-5125  
 sbluse@trimediaee.com

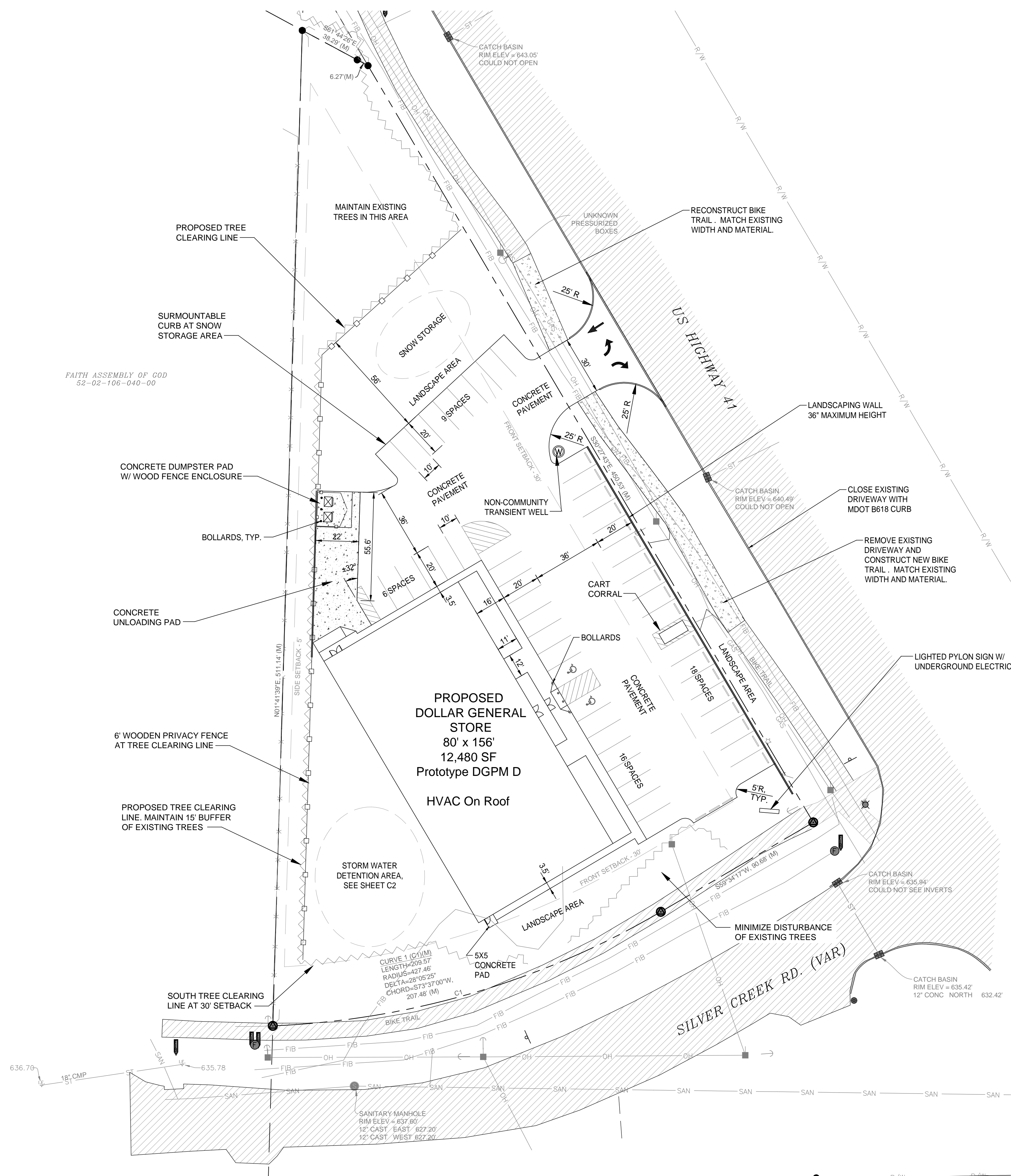


DOLLAR GENERAL  
 VILLAGE OF HARVEY  
 CHOCOLAY TOWNSHIP, MARQUETTE CO., MI

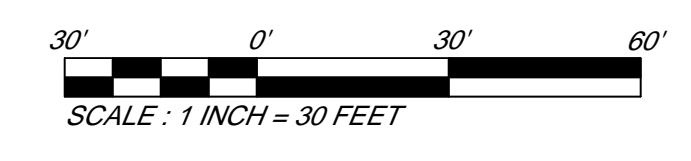
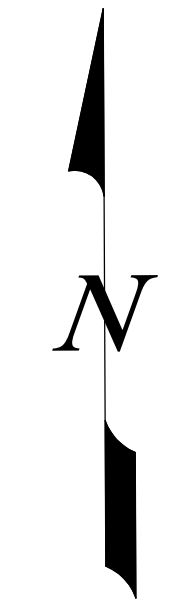
DATE	DESCRIPTION	ISSUED
11/06/23	SUBMITTAL	

DESIGNED: \_\_\_\_\_  
 DRAWN: JBS  
 CHECKED: SJB  
 APPROVED: SJB

TRIMEDIA  
 JOB NUMBER:  
 2023-3160  
 SHEET TITLE:  
 ALTA/NSPS  
 Land Title  
 Survey  
 SHEET NUMBER:  
 2 OF 2



FAITH ASSEMBLY OF GOD  
52-02-106-040-00



- SYMBOL LIBRARY**
- - SIGN POST
  - - POWER POLE
  - - GUY ANCHOR
  - - LIGHT POLE
  - - WELL
  - - WELL
  - MB - MAILBOX
  - SM - SANITARY MANHOLE
  - GM - GAS METER
  - IE - INVERT ELEVATION
  - NGM - NATURAL GAS MARKER
  - FM - FIBER MARKER
  - CT - CONIFEROUS TREE
  - DT - DECIDUOUS TREE
  - FMH - FIBER MANHOLE
  - SMW - SET MAGNAIL WWASHER
  - BCB - BEEHIVE CATCH BASIN
  - CICB - CURB INLET CATCH BASIN
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- GENERAL NOTES**
1. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL CURRENT APPLICABLE STANDARDS AND SPECIFICATIONS OF CHOCOLAY TOWNSHIP, MICHIGAN, UNLESS OTHERWISE NOTED.
  2. ALL WORKMANSHIP AND MATERIALS SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF CHOCOLAY TOWNSHIP, MICHIGAN.
  3. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL NOTIFY ALL THOSE COMPANIES WHICH HAVE FACILITIES IN THE NEAR VICINITY OF THE CONSTRUCTION TO BE PERFORMED.
  4. THE CONTRACTOR MAY UTILIZE THE FOLLOWING TOLL FREE PHONE NUMBER: 1-(800)-482-7171. THIS PHONE NUMBER IS APPLICABLE ANYWHERE WITHIN THE STATE OF MICHIGAN.
  5. ALL DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED BY AND AT THE EXPENSE OF THE CONTRACTOR.
  6. THE CONTRACTOR SHALL UNDER NO CIRCUMSTANCES CLEAR OR DAMAGE ANY TREES OUTSIDE THE CLEARING LIMIT LINE SET BY THE CITY WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER OR PROPERTY OWNER.
  7. CLEARING AND GRUBBING OPERATIONS AND DISPOSAL OF ALL DEBRIS THEREFROM SHALL BE PERFORMED BY THE CONTRACTOR IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES.
  8. THE CONTRACTOR SHALL KEEP THE STREETS CLEAN OF MUD AND DEBRIS.
  9. THE CONTRACTOR SHALL PLACE MIN. 4" TOPSOIL AND SEED & MULCH ALL DISTURBED AREAS AT THE DIRECTION OF THE ENGINEER.

**DOLLAR GENERAL**  
US41 & SILVER CREEK ROAD, HARVEY, MICHIGAN

NO.	DATE	DESCRIPTION	BY

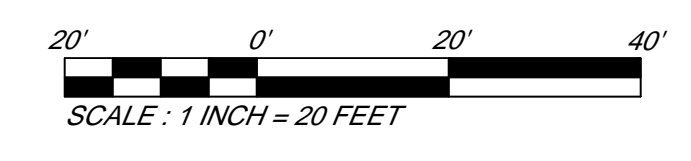
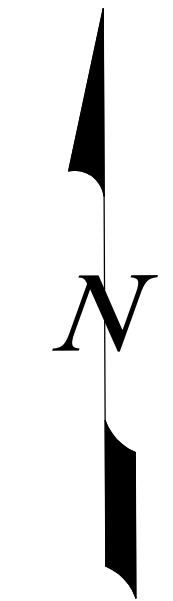
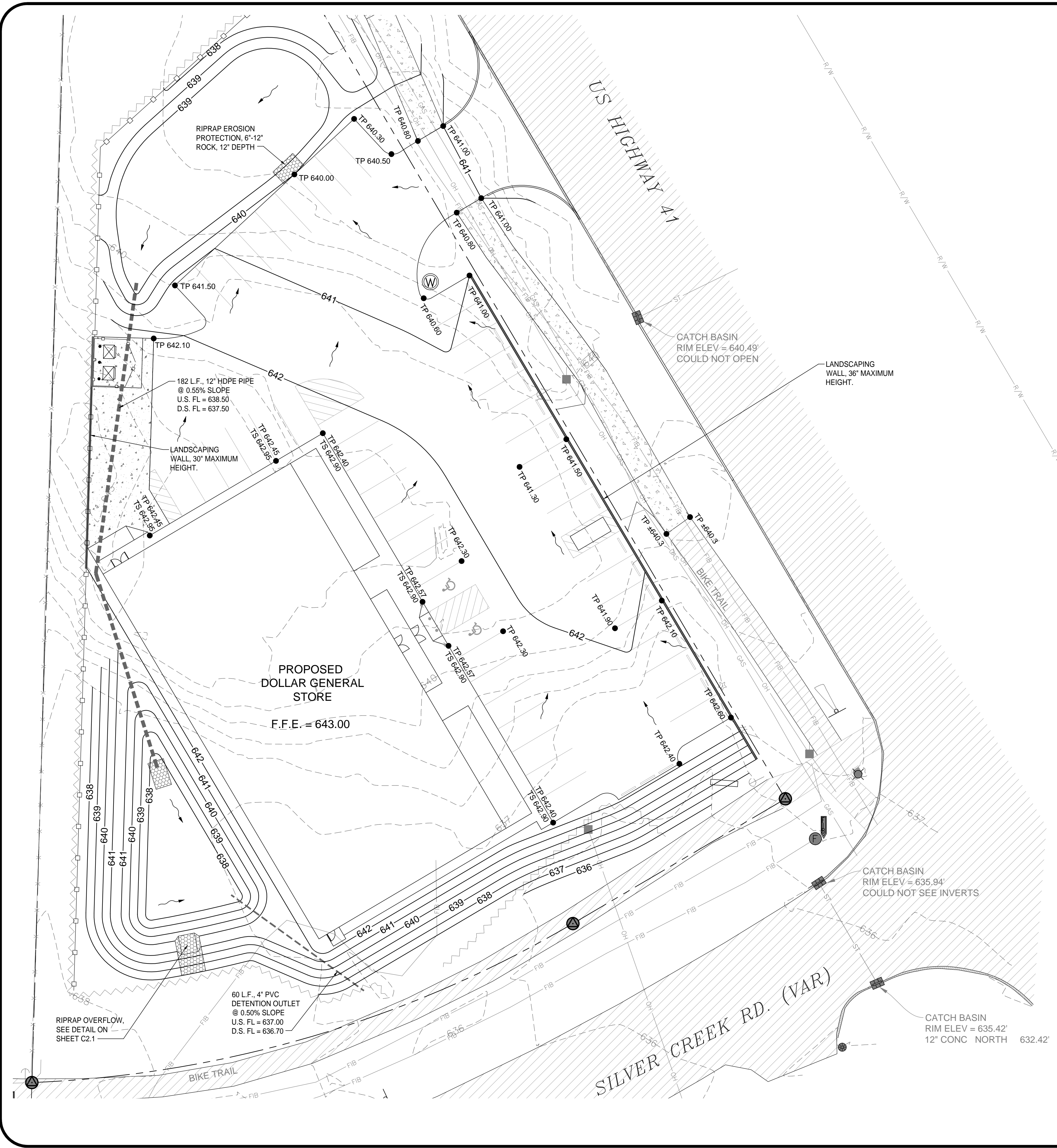


**Overland ENGINEERING, LLC**  
1598 IMPERIAL CIR., STE. 2009 WEST PLAINS, MO 65775  
PHONE: (417) 296-8100 FAX: (417) 296-8152  
rso@overlandeng.com

**DOLLAR GENERAL HARVEY, MICHIGAN**  
SITE PLAN

SHEET  
**C1**





- SYMBOL LIBRARY**
- ▬ - SIGN POST
  - - POWER POLE
  - - GUY ANCHOR
  - - LIGHT POLE
  - - WELL
  - - WELL
  - MB - MAILBOX
  - ⊙ - SANITARY MANHOLE
  - ⊙ - GAS METER
  - ⊙ - INVERT ELEVATION
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  - ⊙ - CURB INLET CATCH BASIN
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**DOLLAR GENERAL**  
 US 41 & SILVER CREEK ROAD, HARVEY, MICHIGAN

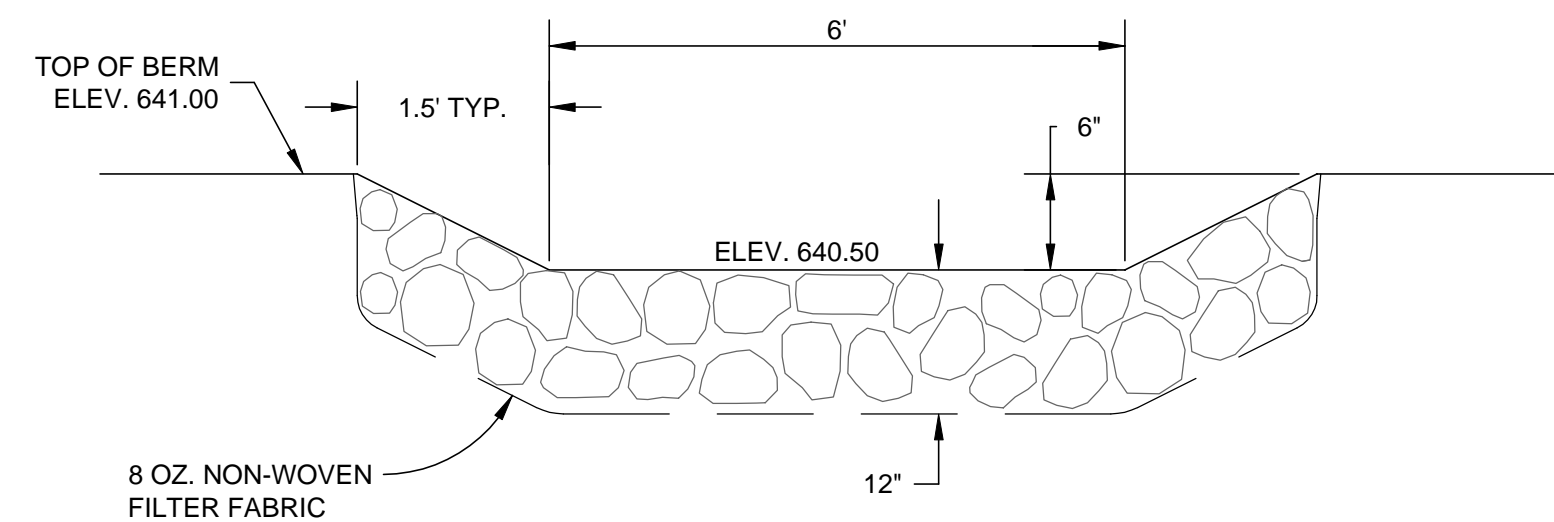
NO.	DATE	DESCRIPTION	BY



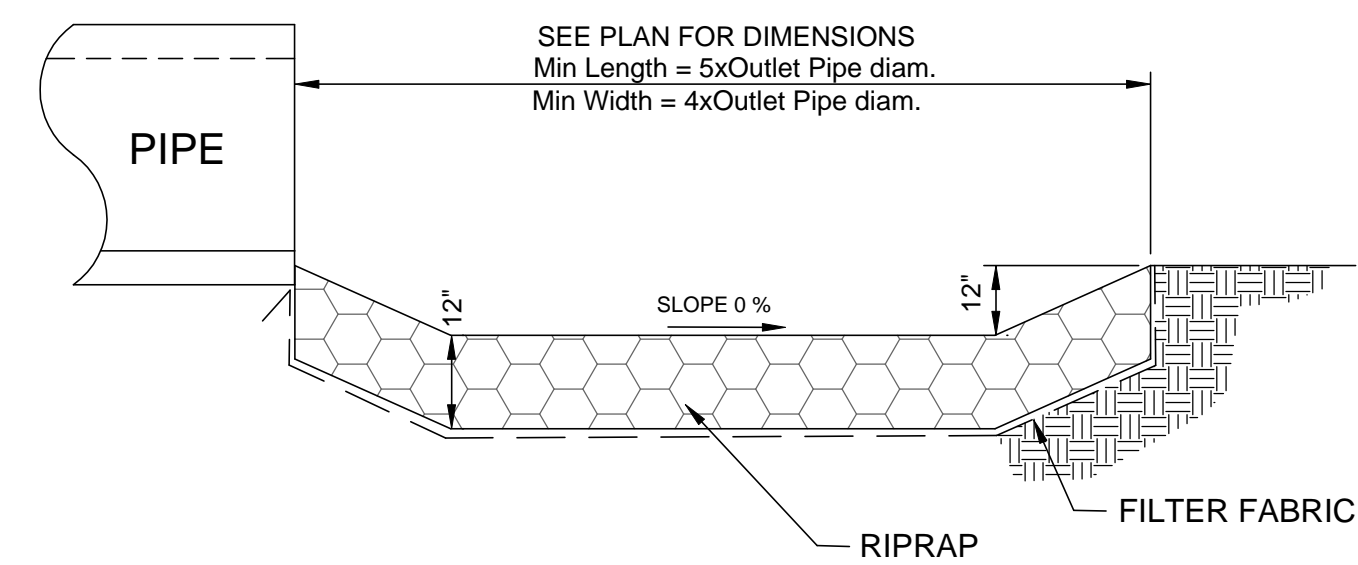
**Overland ENGINEERING, LLC**  
 1598 IMPERIAL CIR., STE. 2009 WEST PLAINS, MO 65775  
 PHONE: (417) 296-8100 FAX: (417) 296-8102  
 russ@overlandeng.com

**DOLLAR GENERAL HARVEY, MICHIGAN**  
**GRADING PLAN**

SHEET  
**C2**



RIPRAP OVERFLOW SECTION  
NO SCALE



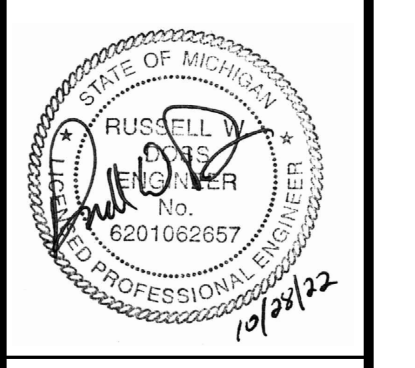
RIPRAP OUTLET DETAIL  
NO SCALE

**SITE PLAN GENERAL NOTES:**

1. STANDARD PARKING SPACES SHALL HAVE MINIMUM SIZE OF 10'X 20' UNLESS LOCAL JURISDICTION REQUIRE LARGER SPACES. PARKING SPACE STRIPING SHALL BE STANDARD 90 DEGREE STYLE. MINIMUM SIZE OF H.C. PARKING SPACES AND ACCESS AISLE ARE SHOWN ON DETAILS.
2. PAINTED STANDARD PARKING SPACE AND ISLAND STRIPE COLOR SHALL BE YELLOW FOR ASPHALT PAVEMENT AND CONCRETE PAVEMENT. COLOR FOR PAINTED H.C. ACCESSIBLE PARKING SPACE STRIPES, ACCESS AISLE OR ISLAND STRIPES, H.C. SYMBOLS, SHALL BE PAINTED PER THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. BOLLARDS SHALL BE PAINTED YELLOW. PAINT SHALL BE REFLECTIVE TYPE.
3. PAINTED FIRE LANE STRIPING OR PAINTED CURBS SHALL BE PROVIDED AS REQUIRED BY JURISDICTIONAL REQUIREMENTS.
4. CONCRETE PARKING STOPS SHALL BE USED AT PARKING SPACES ALONG THE OUTER PERIMETER OF PARKING LOT WHEN CONCRETE CURBS ARE NOT USED.
5. CONCRETE PARKING STOPS SHALL NOT BE USED AT THE FRONT OF THE BUILDING OR ALONG THE PERIMETER (ADJACENT) TO THE BUILDING.
6. THE SIDEWALK AT THE FRONT OF THE BUILDING SHALL BE A MINIMUM OF 9- FEET WIDE. THE SIDEWALK SHALL INCLUDE A 10-FOOT MINIMUM WIDE ADA ACCESSIBLE RAMP CLOSE TO THE STORE MAIN ENTRANCE. SIDEWALKS ALONG OTHER SIDES OF BUILDING SHALL BE MINIMUM 3'-6" WIDE. SIDEWALKS ADJACENT TO BUILDING SLABS SHALL HAVE SEALED ISOLATION JOINTS AND SHALL BE 6" HIGH ABOVE EXTERIOR OR PAVEMENT FINISH GRADES. ALL EXTERIOR SIDEWALKS SHALL HAVE A BROOM FINISH.
7. PORTLAND CEMENT SIDEWALKS SHALL BE MINIMUM 4" THICK WITH WELDED WIRE FABRIC REINFORCING.
8. SIDEWALKS ADJOINING THE BUILDING MUST HAVE A 6" HIGH INTEGRAL CURB.
9. SLOPE CONCRETE SIDEWALKS AWAY FROM BUILDING AT A MINIMUM SLOPE OF 1/8" PER FOOT. INCLUDING RECESSED ENTRY.
10. THE ACTUAL LOCATION FOR THE PYLON SIGN SHALL BE SITUATED FOR OPTIMUM VISIBILITY ALONG THE MAIN FRONT TRAFFIC CORRIDOR.
11. BUILDING CORNERS ADJACENT TO PAVED AREAS SHALL BE BOLLARD PROTECTED. ABOVE GROUND UTILITY APPURTENANCES, SUCH AS METERS, TRANSFORMERS, FIRE HYDRANTS IN PAVED AREAS, ETC. SHALL BE BOLLARD PROTECTED.
12. DOWNSPOUTS SHALL NOT BE ALLOWED TO DISCHARGE ON CONCRETE SIDEWALKS. ROUTE DOWNSPOUTS UNDER SIDEWALKS AT ALL SIDEWALK LOCATIONS.
13. ALL DOWNSPOUTS DISCHARGING ONTO NON PAVED AREAS ARE TO HAVE A MINIMUM FIVE FOOT PERFORATED LANDSCAPE PIPE STRAPPED TO A MINIMUM 12 INCH X 24 INCH CONCRETE SPLASH BLOCK.
14. FINISH FLOOR TO BE A MINIMUM OF 12 INCHES ABOVE 100 YEAR FLOOD PLAIN.
15. FINISHED GRADE AT EXTERIOR WALLS SHALL BE A MINIMUM OF 6" BELOW FINISHED FLOOR AT ALL NON-PAVED AREAS.

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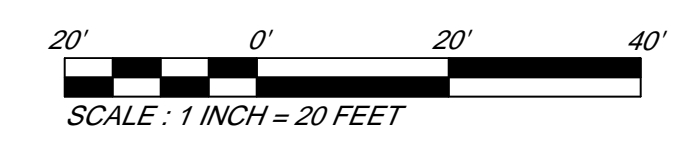
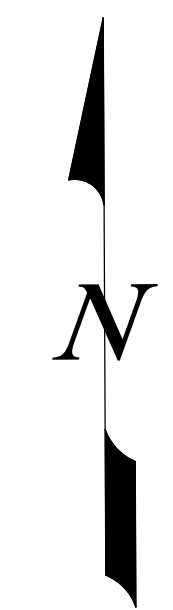
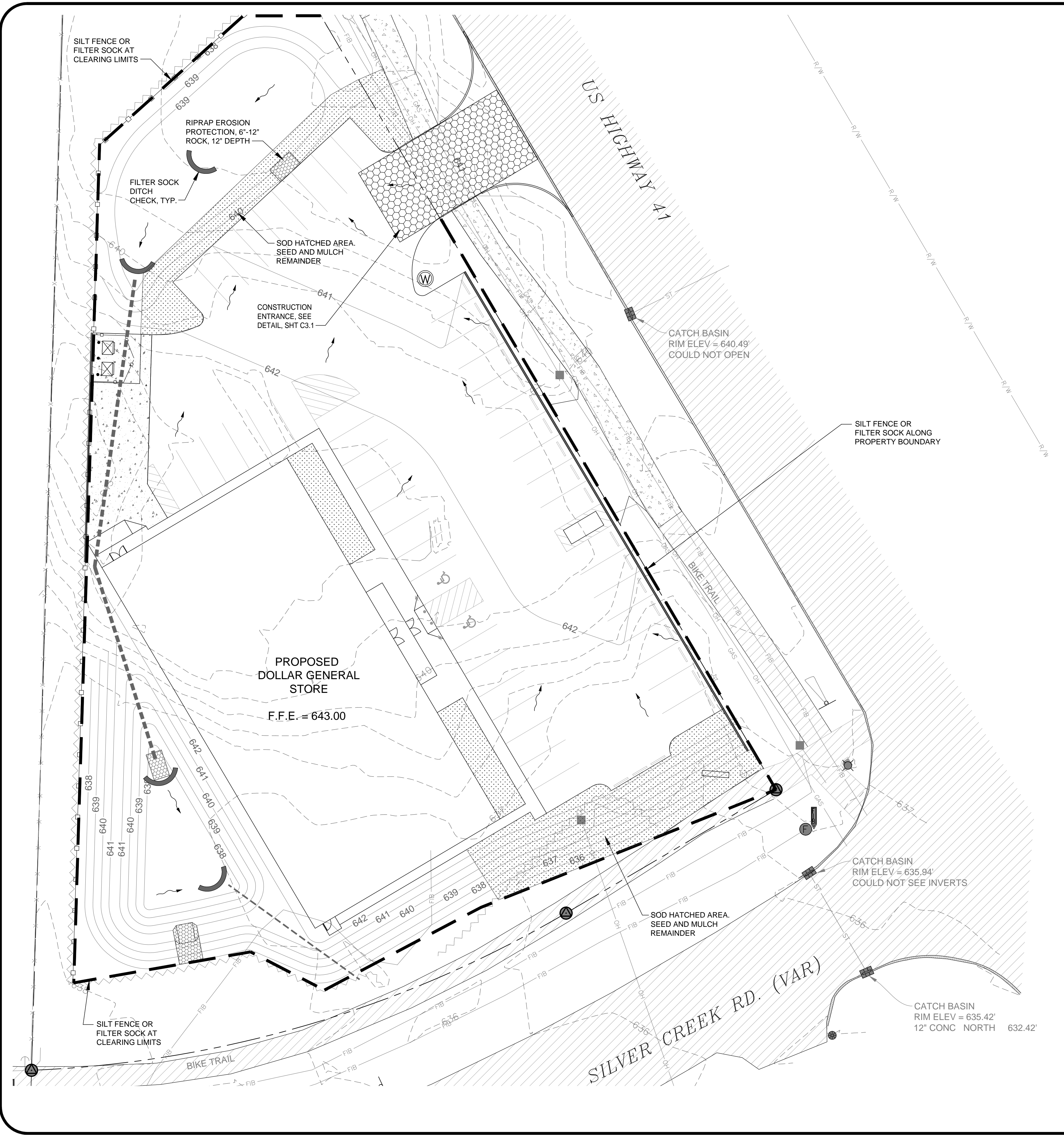
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DOLLAR GENERAL  
HARVEY, MICHIGAN  
GRADING DETAILS





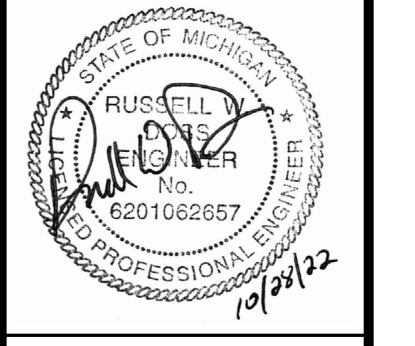
- SYMBOL LIBRARY**
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  - GUY ANCHOR
  - LIGHT POLE
  - WELL
  - WELLS
  - [MB] - MAILBOX
  - [S] - SANITARY MANHOLE
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  - INVERT ELEVATION
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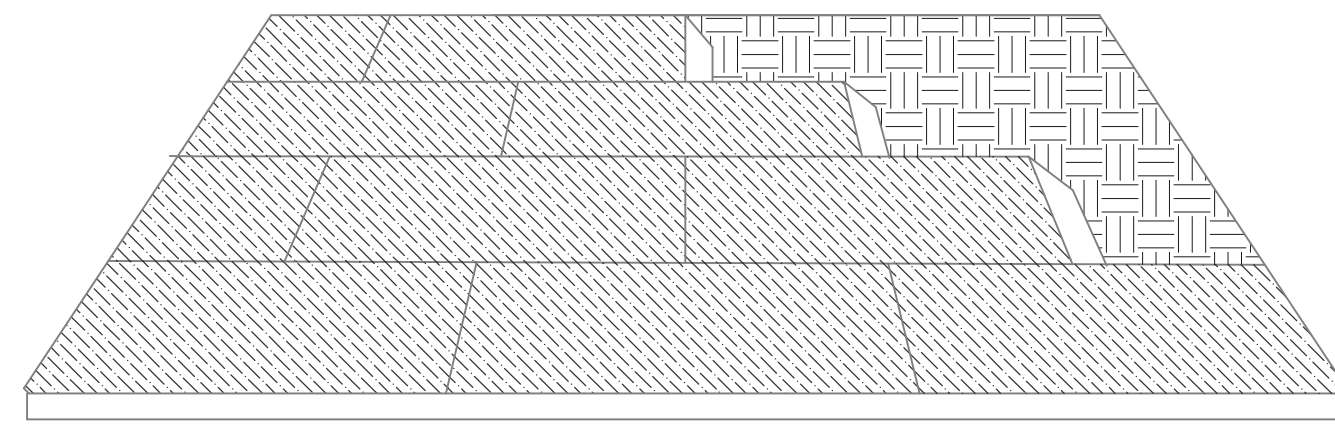
**DOLLAR GENERAL**  
 US 41 & SILVER CREEK ROAD HARVEY, MICHIGAN

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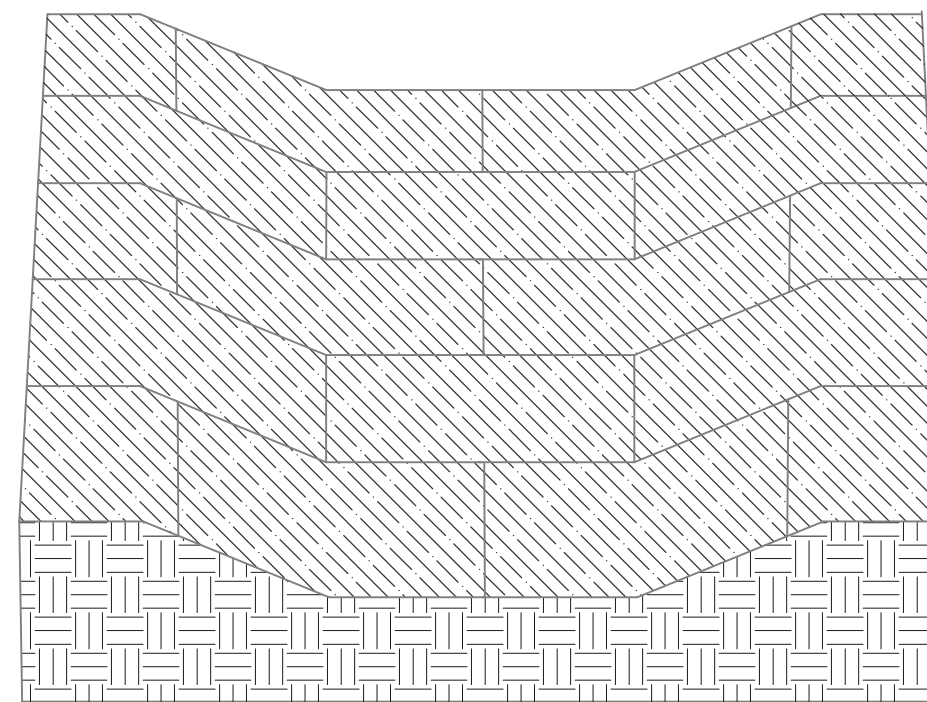
**DOLLAR GENERAL HARVEY, MICHIGAN**  
**SEDIMENT & EROSION CONTROL PLAN**



LAY SOD IN A STAGGERED PATTERN WITH STRIPS BUTTED TIGHTLY AGAINST EACH OTHER

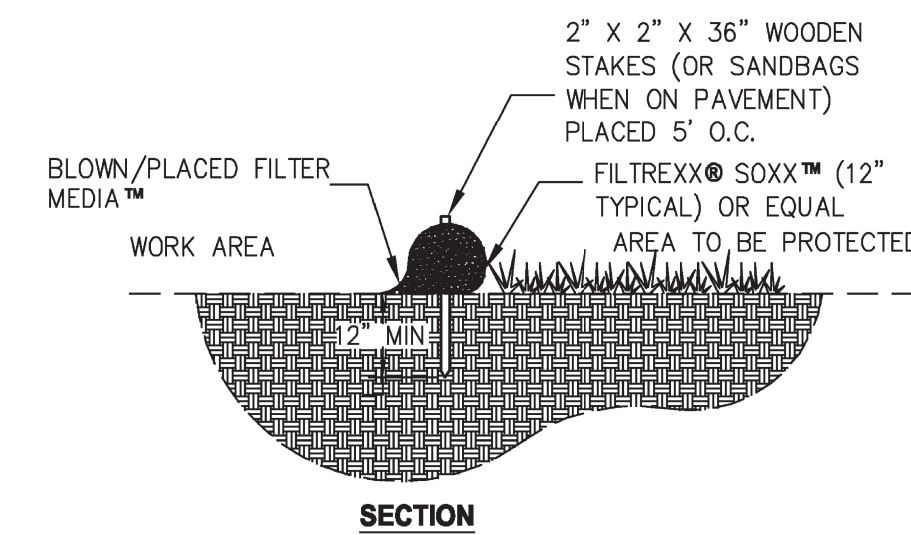
ON SLOPE > 3:1 USE PEGS OR STAPLES TO FASTEN SOD FIRMLY AT THE CORNERS AND CENTERS.

### INSTALLATION OF GRASS SOD

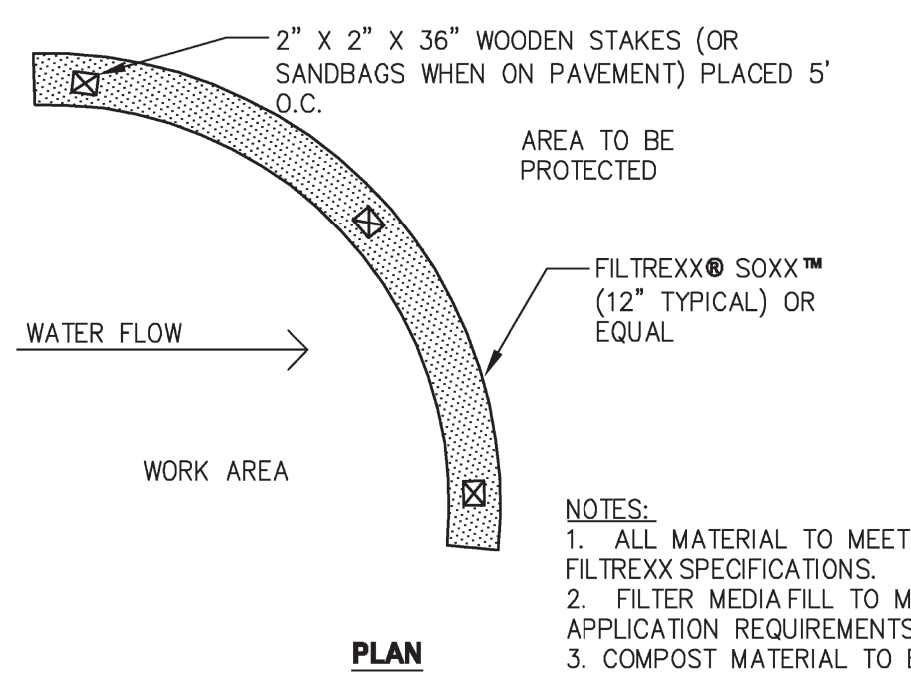


LAY SOD PERPENDICULAR TO THE DIRECTION OF FLOW. USE PEGS OR STAPLES TO FASTEN SOD FIRMLY AT THE CORNERS AND CENTERS

### INSTALLATION OF SOD IN WATERWAYS



SECTION



PLAN

NOTES:  
1. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.  
2. FILTER MEDIA FILL TO MEET APPLICATION REQUIREMENTS.  
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

### FILTER SOCK SEDIMENT CONTROL

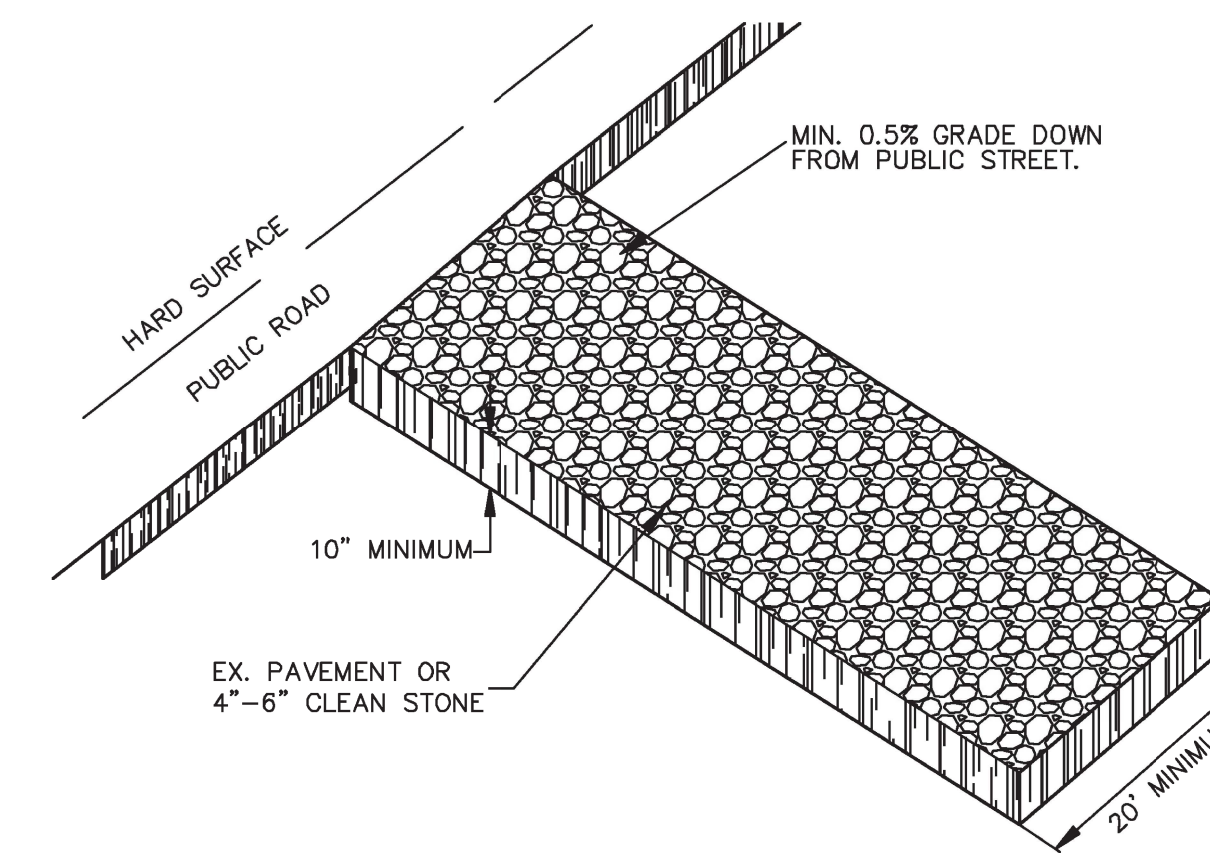
N.T.S.

### SODDING SPECIFICATIONS

- GENERAL**  
The sodding and related operations may be performed at any time of the year except frozen sod shall not be placed nor shall sod be placed on frozen soil.
- LIME**  
Limestone, where required, shall be standard agricultural ground limestone with a moisture content not in excess of 10 percent. The rate of application shall be as necessary to raise pH to a minimum of 6.0.
- FERTILIZER**  
The fertilizer shall be a regular commercial fertilizer (including liquid form) meeting the requirements of the applicable state laws, and shall be in such physical condition to insure uniform application over the area to be fertilized. Rates of application shall be as specified by MDOT.
- SOD**  
The sod shall consist of strips or blocks of a vigorous growing dense perennial grass turf. The minimum thickness for cultured sod is one inch. The minimum thickness for other grass sod is two inches. The sod shall be sufficiently dense so that when a square 12 x 12 inches is cut to the required thickness and suspended by one corner, it will not tear apart. Sod shall be taken from soils similar to that upon which it is to be placed, except sod from light sand will not be accepted. The sod shall be indigenous to the general locality where it is to be used and shall be reasonably free from weeds. The sod shall be cut in strips of a uniform width, not less than 10 inches, and in lengths of not less than 18 inches. Lay sod within 48 hours of harvest.
- PREPARING THE SOD BED**  
The entire surface to be sodded shall be reasonably smooth and free from stones, roots or other debris, and conform to the alignments, grade and cross-section indicated on the drawings. At this stage, unless otherwise specified, the Contractor shall apply the fertilizer and/or lime as required, and mix them with the surface soil material to a depth of 3 inches. Prior to laying the sod, the area to be sodded will be dampened if it is not already in a sufficiently moist condition. The sod bed soil shall be moist, but not saturated, to a minimum depth of six inches.
- PLACING THE SOD**  
Sod shall be carefully placed and tamped. On slopes steeper than 3 horizontal to 1 vertical, the sod shall be pegged with wooden pegs. The pegs shall be spaced not over 2 feet apart in any direction and shall be driven flush with the surface of the sod.
- ESTABLISHING THE SOD**  
The Contractor shall maintain the sod in a growing condition by watering when necessary, after completing each part of the sodding work, for at least 30 days.

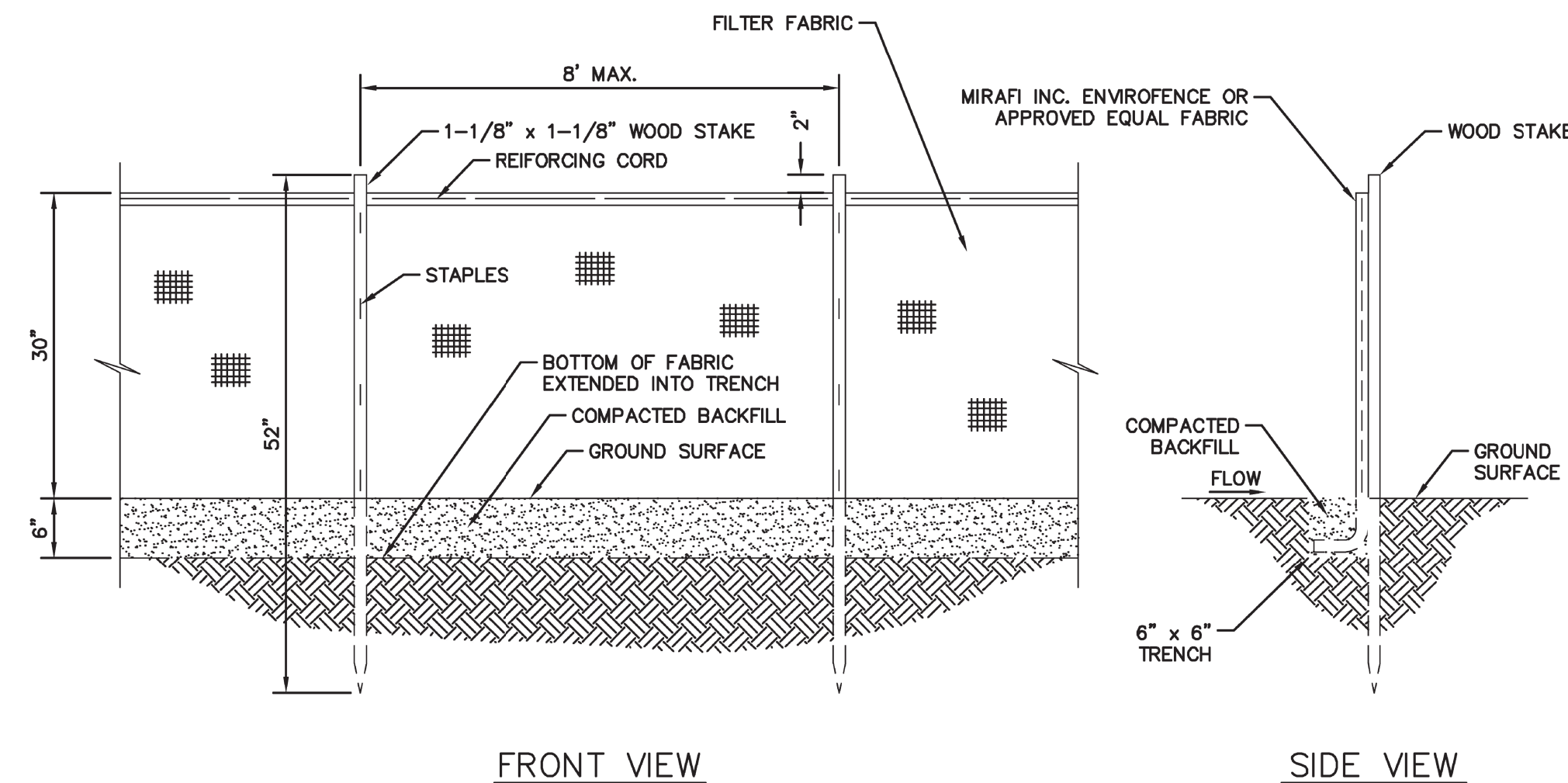
### SEEDING AND MULCHING SPECIFICATIONS

- GENERAL**  
Liming, fertilizing, seeding and mulching shall be performed within 20 days from disturbance any time during the year except during the period October 1 to November 1 South of US 10, September 20 to October 25 North of US 10 and any other time of the year that the seedbed cannot be properly prepared due to wetness, snow or frozen soil.
- FERTILIZER AND LIME**  
Lime shall be standard agricultural ground limestone. Fertilizer shall meet the requirements of the applicable Michigan state laws, and shall be in such physical condition to insure uniform application over the area to be fertilized. Lime is required only as necessary to adjust pH to a minimum of 6.0. Fertilizer shall be applied at the rate specified by MDOT for TGM seed mixture.
- SEED**  
The seed shall conform to the latest seed laws of the United States and of Michigan. Seed mixture shall be MDOT TGM mixture, and rate of seeding shall be 220 pounds per acre or per MDOT specifications.
- PREPARATION OF SEEDBED**  
The entire area to be seeded shall be reasonably smooth and all washes and gullies shall be filled to conform to the desired cross-section before actual seedbed preparation is begun. Scarify subsoil areas perpendicular to water flow before they are filled. After final grading, the required fertilizer (except that applied with a hydraulic seeding) and/or lime shall be applied uniformly and incorporated into the top 3 inches of the soil. The seedbed preparation operation shall be suspended when the soil is too wet or too dry. On side slopes steeper than 3:1, the 3 inch minimum depth of seedbed preparation is not required, but the soil shall be worked enough to insure sufficient loose soil to provide adequate seed cover.
- SOWING THE SEED**  
Seed immediately after preparation of the seedbed. Uniform seed distribution shall be accomplished by drilling, broadcasting or hydraulically seeding. If a hydraulic seeder is used, the seed, fertilizer and mulch may be applied together with water. Immediately after seeding, except in the case of hydraulic seeding, the soil shall be firmed with a cultipacker or other approved equipment to give the seed a cover of not more than 1/2 inch. Where broadcast seeding, the seed will be covered by use of hand rake or by dragging harrows, chains, or other suitable equipment over the surface or mulch to cover the seed. On slopes steeper than 3:1, the seed may be covered by hand without cultipacking.
- MULCHING**  
The required mulching shall be performed with hydraulic seeding or immediately after seeding. The mulch shall be applied uniformly over the area. The type and rate shall be 2 tons per acre. The mulch, except for hydraulically placed mulch, shall be anchored. Anchoring of the mulch shall be performed by application of a commercially available tackifier at the rate recommended by the manufacturer, a mulch anchoring tool, tandem disk weighted and set nearly straight, track type tractor, or by installation of mulch netting. Mechanical anchoring shall be performed in a manner that creates ridges perpendicular to flow of water.



### CONSTRUCTION ENTRANCE

N.T.S.



FRONT VIEW

### SEDIMENTATION/SILT FENCE

N.T.S.

SIDE VIEW

### EROSION CONTROL SCHEDULE AND SEQUENCING:

- ROUGH GRADING** CONSTRUCTION ENTRANCE/EXIT, SILT FENCE PROTECTION, CONCRETE WASHOUT AREA AND TREE PROTECTION SHALL BE INSTALLED PRIOR TO THE INITIATION OF ROUGH GRADING, AS NEEDED. TEMPORARY EROSION CONTROL MEASURES TO BE INSTALLED UPON COMPLETION OF ROUGH GRADING AND AS NECESSARY THROUGHOUT CONSTRUCTION.
- UTILITY INSTALLATION** ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING UTILITY INSTALLATION. STORM STRUCTURE INLET PROTECTION SHALL BE INSTALLED AS STORM DRAINAGE SYSTEM IS CONSTRUCTED.
- PAVING** ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING PAVING AND THROUGHOUT THE REMAINDER OF THE PROJECT.
- FINAL GRADING/SOIL STABILIZATION/LANDSCAPING** ALL TEMPORARY EROSION CONTROL MEASURES TO BE REMOVED AT THE CONCLUSION OF THE PROJECT AS DIRECTED BY THE LOCAL MUNICIPALITY.

### PERMANENT EROSION CONTROL MEASURES

PERMANENT SEEDING & SOD - PERMANENT SEEDING & SOD PREVENTS EROSION OF SOIL DUE TO STORMWATER RUNOFF. THE VEGETATION SHALL BE PROPERLY MOWED AND MAINTAINED UPON FINAL STABILIZATION.

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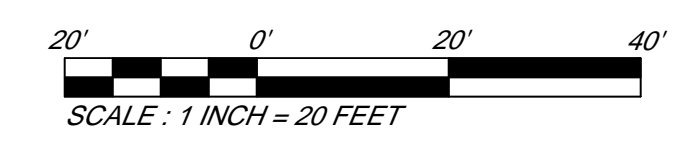
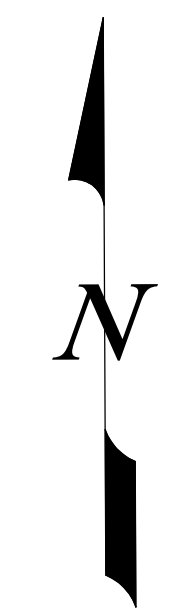
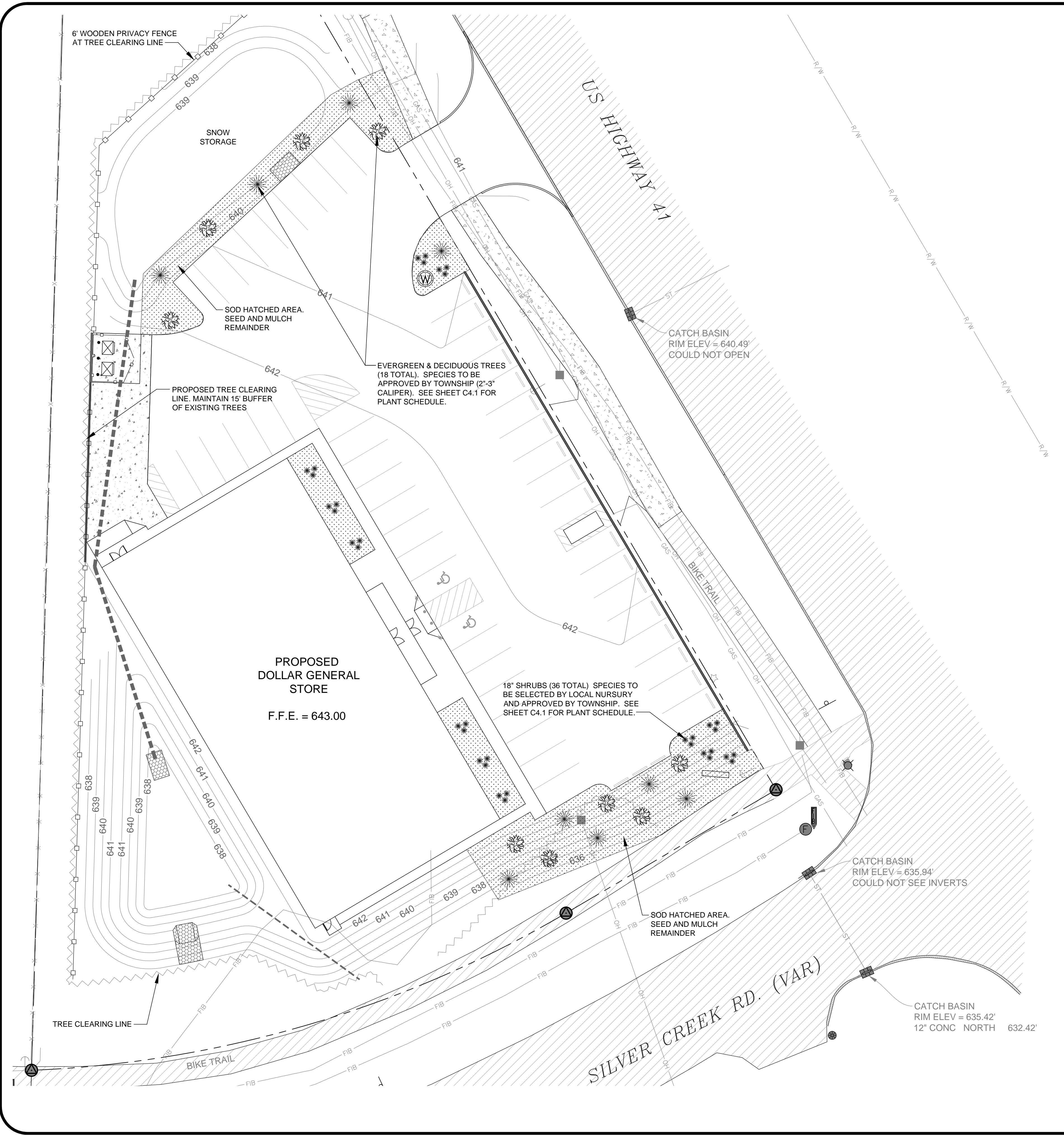


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**DOLLAR GENERAL HARVEY, MICHIGAN**  
**SEDIMENT & EROSION CONTROL DETAILS**

SHEET

**C3.1**



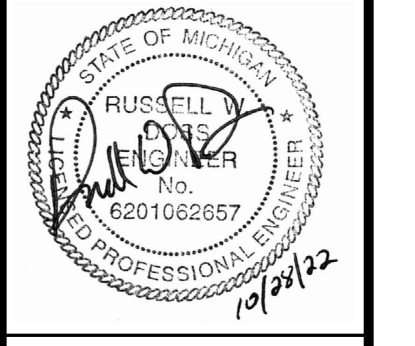
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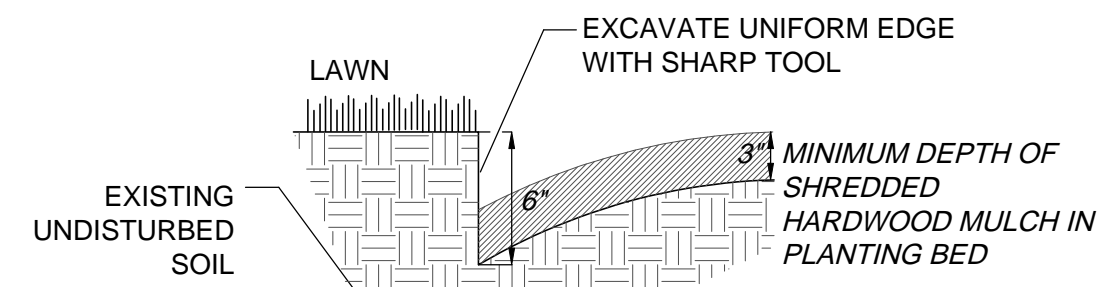
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**DOLLAR GENERAL HARVEY, MICHIGAN LANDSCAPING PLAN**

SHEET  
**C4**

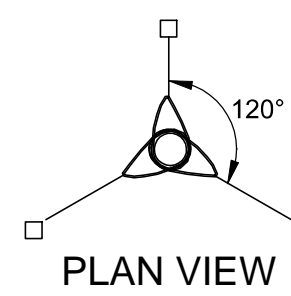


**EARTHEN EDGING DETAIL**

NO SCALE

PLANT SCHEDULE:

QTY	BOTANICAL NAME	COMMON NAME
<b>TREES</b>		
5	ACER RUBRUM	RED MAPLE
4	QUERCUS RUBRA	NORTHERN RED OAK
5	PINUS STROBUS	WHITE PINE
4	PICEA GLAUCA	WHITE SPRUCE
<b>SHRUBS</b>		
12	COTONEASTER DIVARICATUS	COTONEASTER
12	LIGUSTRUM VULGARE	EUROPEAN PRIVET
12	SYRINGA MEYERI	PALIBIN LILAC



1-3/4" X 1-3/4" STAKES, 30" OR MORE IN LENGTH, WITH 2-#14 GALVANIZED WIRES ENCASED IN 2-PLY MIN. 1/2" DIA. RUBBER HOSE. REFER TO SPECS FOR REMOVAL.

SET TREE 1/8 DEPTH OF BALL HIGHER THAN ADJACENT GRADE

3" HIGH SAUCER, 8" TO 12" WIDE.

NOT TO EXCEED 3:1 SLOPE

**TREE PLANTING ON SLOPE**

DRAIN TRENCH

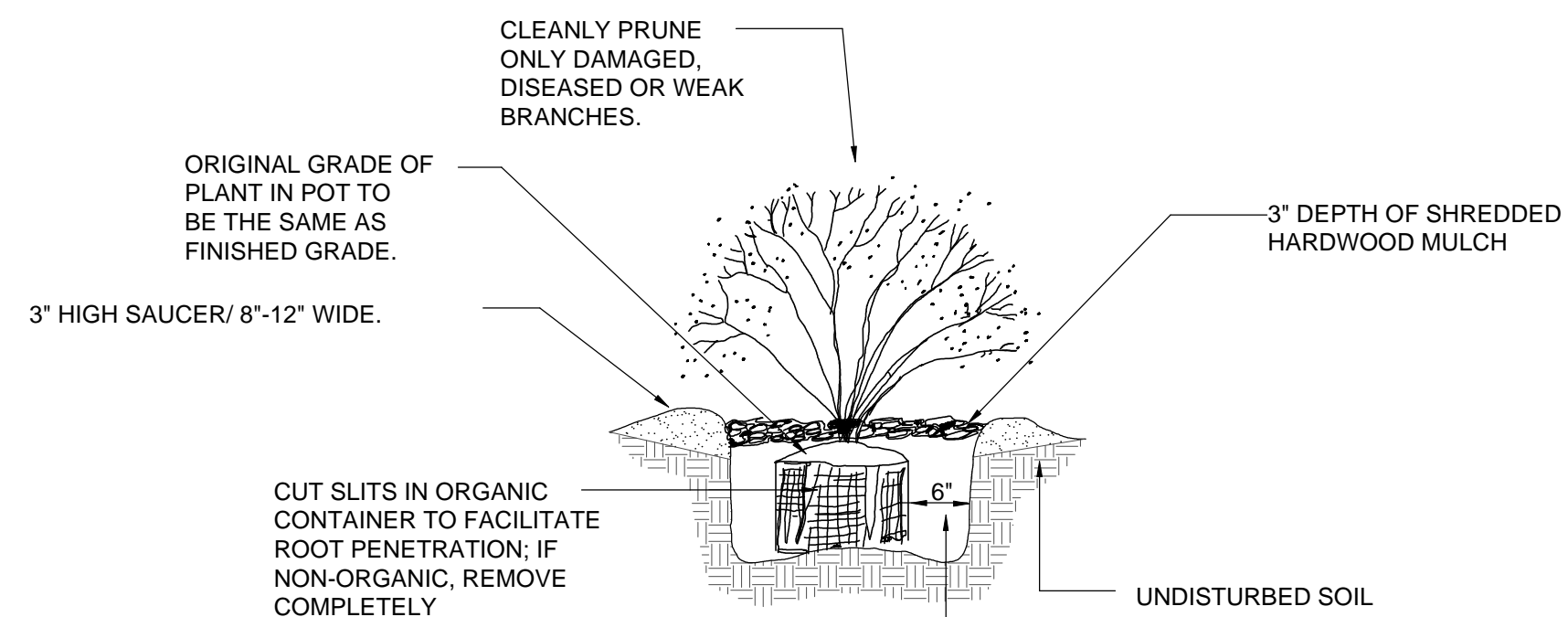
**TREE DETAIL- LESS THAN 3 1/2" CALIPER**

NO SCALE

PRUNE ALL DAMAGED, DISEASED OR WEAK BRANCHES.

MULCH 6' DIAMETER AREA (OR LARGER AS INDICATED ON PLANS) WITH SHREDDED HARDWOOD TO MINIMUM 3" DEPTH

REMOVE TOP 1/3 OF BURLAP.  
TOPSOIL MIXTURE:  
2/3 EXISTING SOIL  
1/3 MoPOST OR SOIL MIXTURE (REFER TO SPECS)



**SHRUB DETAIL**

NO SCALE

LANDSCAPING REQUIREMENTS:

18 S.F. PER PARKING SPACE  
18 S.F. \* 49 PARKING SPACES = 882 S.F. (REQUIRED)  
SODDED LANDSCAPING = 4,472 S.F. (PROVIDED)

LANDSCAPE NOTES:

- ALL PLANTING BEDS SHALL HAVE A MINIMUM 3" DEPTH OF MULCH, WITH EDGING AS REQUIRED.
- ALL TREES LOCATED IN SOD AREAS SHALL HAVE A MULCH RING AROUND THEM WITH EDGING.
- ALL PLANTINGS SHALL BE THOROUGHLY WATERED BY THE LANDSCAPE CONTRACTOR AT THE TIME OF THE PLANTINGS.
- MAXIMUM GRADING IN NON-DETENTION AREAS SHALL NOT EXCEED 4:1.
- CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING ALL VEGETATION AND REGIONAL APPROPRIATE LANDSCAPING.

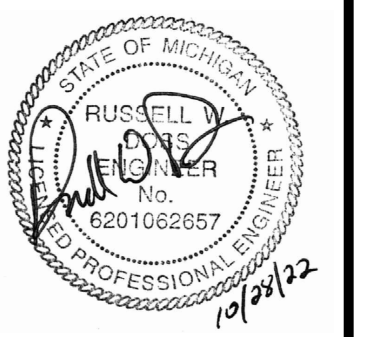
IRRIGATION NOTES:

- IRRIGATION SYSTEM FOR SODDED AND LANDSCAPED AREAS IS NOT SHOWN BUT SHALL BE DESIGNED AND INSTALLED BY CONTRACTOR. SPRINKLER HEADS SHALL NOT BE LOCATED WITHIN THE ROAD RIGHT OF WAY.
- IRRIGATION SYSTEM TO INCLUDE ALL SPRAY HEADS, VALVES AND CONTROLLERS.
- LOCATE HEADS A MINIMUM OF 2'-0" FROM EDGE OF PAVEMENT / CURB. HOWEVER, UNDER NO CIRCUMSTANCE SHALL SPRINKLER HEADS BE CONSTRUCTED WITHIN THE ROAD RIGHT OF WAY.

**DOLLAR GENERAL**

US41 & SILVER CREEK ROAD, HARVEY, MICHIGAN

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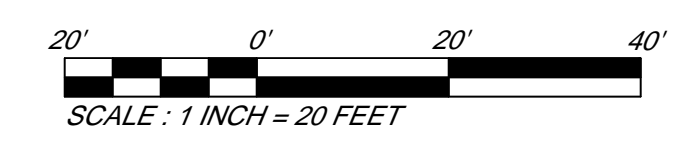
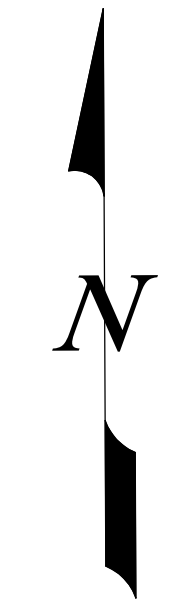
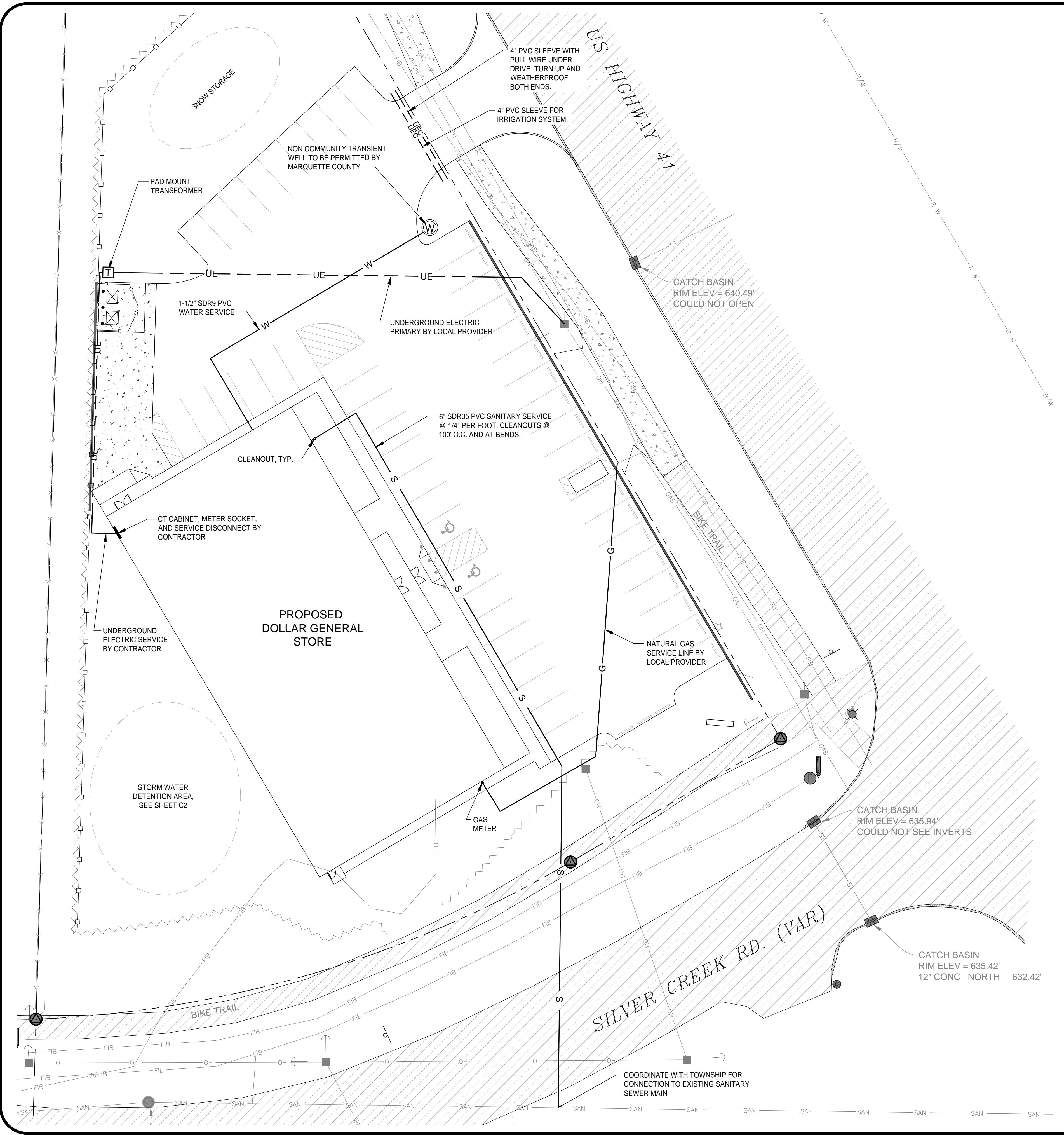


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**DOLLAR GENERAL HARVEY, MICHIGAN**  
**LANDSCAPING DETAILS**

SHEET

**C4.1**



- SYMBOL LIBRARY**
- SIGN POST
  - POWER POLE
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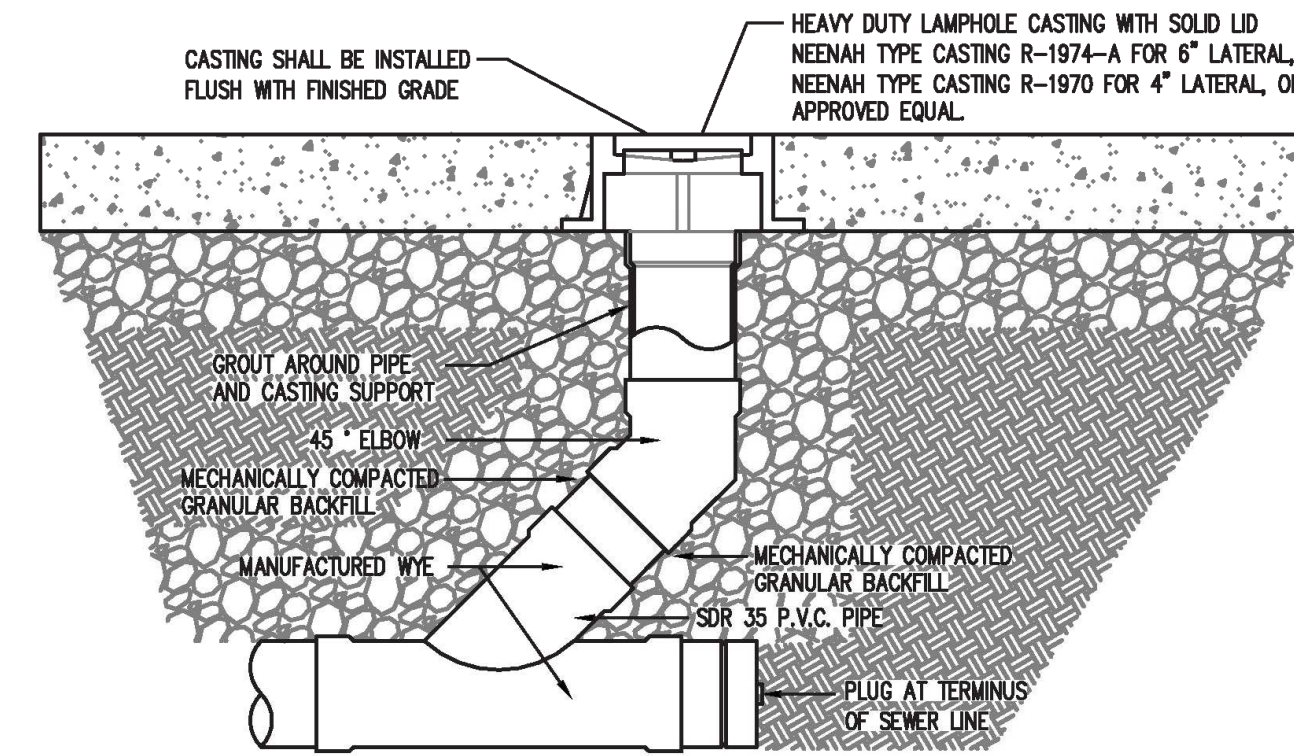
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 russ@overlandeng.com

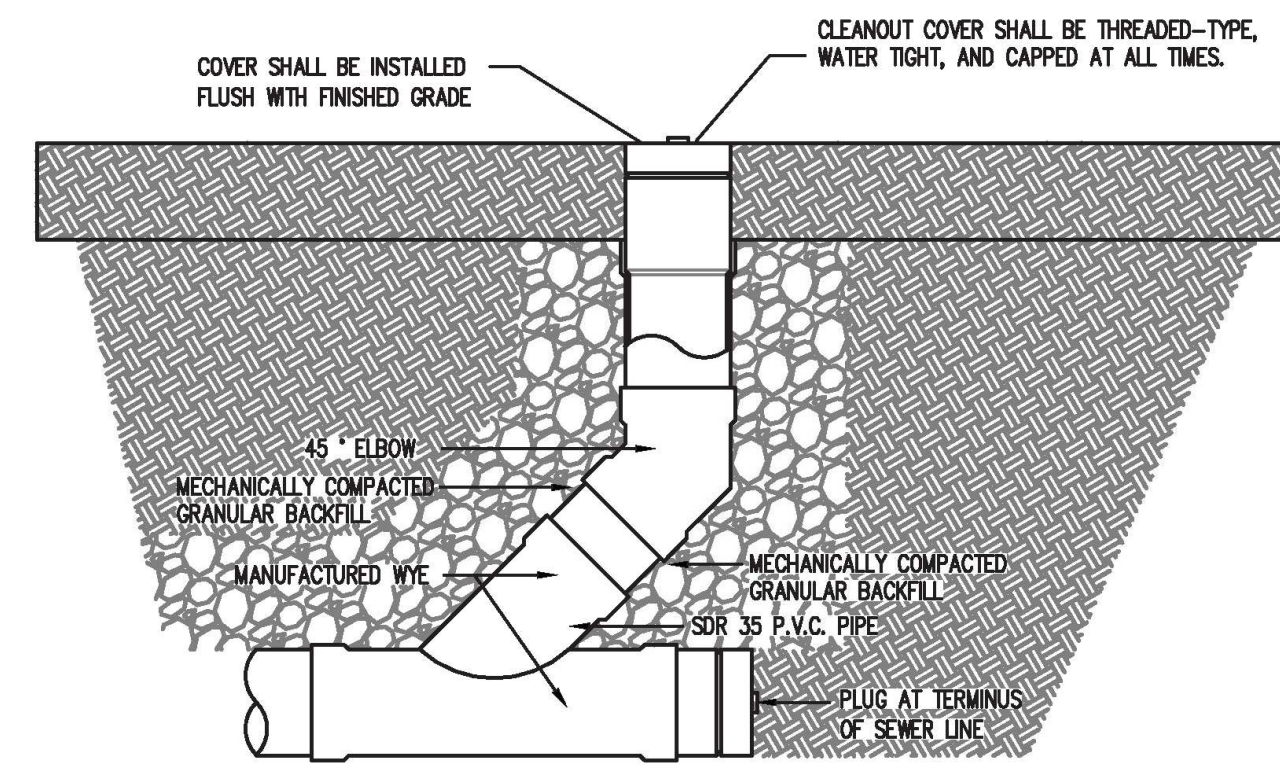
**DOLLAR GENERAL HARVEY, MICHIGAN SITE UTILITY PLAN**

SHEET  
**C5**



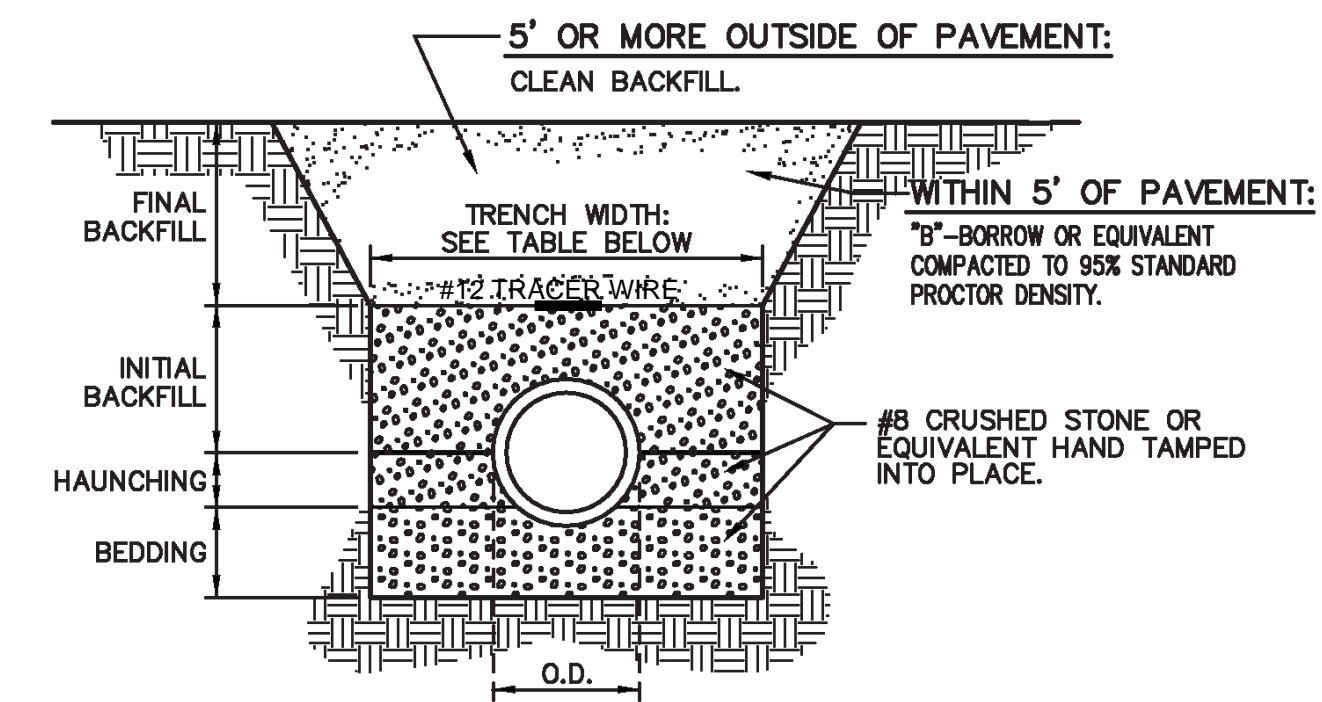
CLEAN OUT DETAIL (IN CONCRETE AREA)

NOT TO SCALE



CLEAN OUT DETAIL (IN GRASS AREA)

NOT TO SCALE



MINIMUM BEDDING, HAUNCHING, AND INITIAL BACKFILL DEPTHS		
PIPE SIZE	BEDDING (BELOW PIPE BARREL)	HAUNCHING AND INITIAL BACKFILL (ABOVE TOP OF PIPE)
UNDER 8"	4" MIN.	4" MIN.
8" TO 15"	4" MIN.	12" MIN.
18" & OVER	8" MIN.	12" MIN.

MINIMUM TRENCH WIDTHS	
PIPE SIZE	MINIMUM WIDTH
UP TO 18"	O.D. + 16"
18" & OVER	(O.D. x 1.25) + 12"

FLEXIBLE PIPE BEDDING & BACKFILL REQUIREMENTS DETAIL

NOT TO SCALE

**WATER CONNECTION NOTES:**

- 1) CONTRACTOR SHALL CONNECT WATER SERVICE LINE TO PROPOSED WELL AT OR NEAR THE LOCATION SHOWN.
- 2) CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF THE WELL AND ADJUST CONNECTION POINT AS NECESSARY.
- 3) CONTRACTOR SHALL REPAIR ANY EXISTING SIDEWALK OR PAVEMENT THAT IS REMOVED OR DAMAGED FOR THE CONNECTION.
- 4) WELL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATE OF MICHIGAN AND MARQUETTE COUNTY HEALTH DEPARTMENT DESIGN AND CONSTRUCTION SPECIFICATIONS.

**SANITARY SEWER CONNECTION NOTES:**

- 1) BUILDING SEWER SHALL BE AT 1/4" PER 1' SLOPE WITH CLEANOUT TO GRADE WITHIN 5' OF THE BUILDING AND EVERY 100' THEREAFTER AND AT EVERY HORIZONTAL CHANGE IN DIRECTION GREATER THAN 45 DEGREES.
- 2) ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF CHOCOLAY TOWNSHIP DESIGN AND CONSTRUCTION SPECIFICATIONS.

**UTILITY NOTES:**

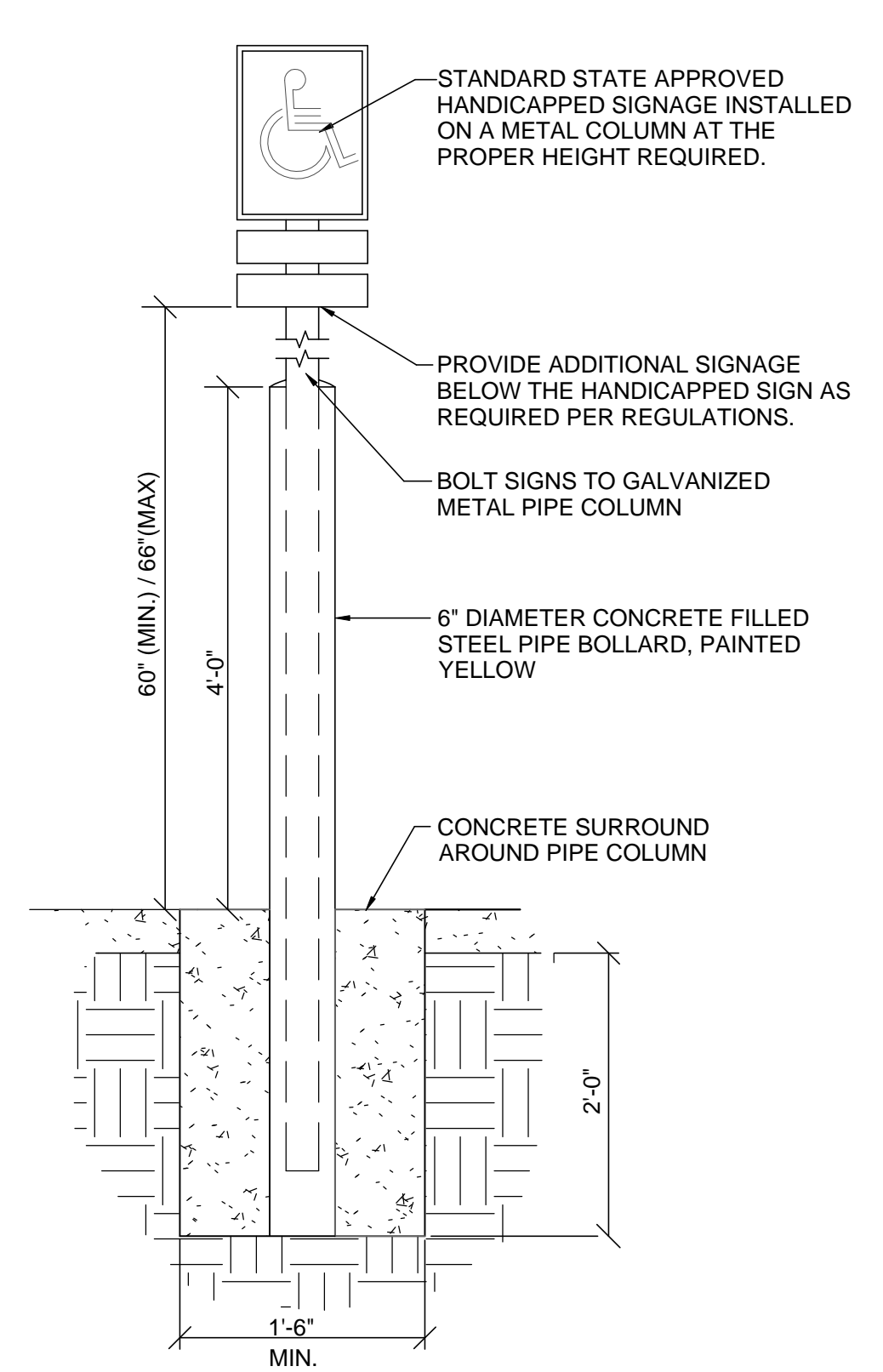
- 1) ALL UTILITY WORK SHALL CONFORM TO THE LATEST STANDARD DETAILS AND SPECIFICATIONS FOR THE CITY OF GLADWIN.
- 2) PROMPTLY PATCH AND REPAIR ADJACENT CONSTRUCTION DISTURBED BY UTILITY INSTALLATION OR CONNECTION.
- 3) CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITIES BEFORE REMOVING ANY EXISTING SERVICE CONNECTIONS.
- 4) MAINTAIN EXISTING UTILITIES THAT ARE TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING UTILITY INSTALLATION.
- 5) DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITY HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING ANY INTERRUPTION TO EXISTING FACILITIES, AS ACCEPTABLE TO GOVERNING AUTHORITIES.
- 6) ALL WATER LINES SHALL BE SDR9 PVC WITH 60" MINIMUM COVER.
- 7) ALL SANITARY SEWER LINES SHALL BE SDR35 PVC WITH 60" MINIMUM COVER.
- 8) ALL ELECTRIC, TELEPHONE, AND GAS SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS.
- 9) PRIOR TO CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN, OR OTHER UTILITY, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS. CONTRACTOR SHALL NOTIFY THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATION FROM THE PLAN.
- 10) ALL UTILITIES WITHIN THE INFLUENCE OF PAVEMENT SHALL REQUIRE COMPLETE SAND BACKFILL COMPACTED TO 95% OF THE MATERIAL'S MAXIMUM DENSITY.

**DOLLAR GENERAL**  
 US41 & SILVER CREEK ROAD, HARVEY, MICHIGAN  
 48031-1000

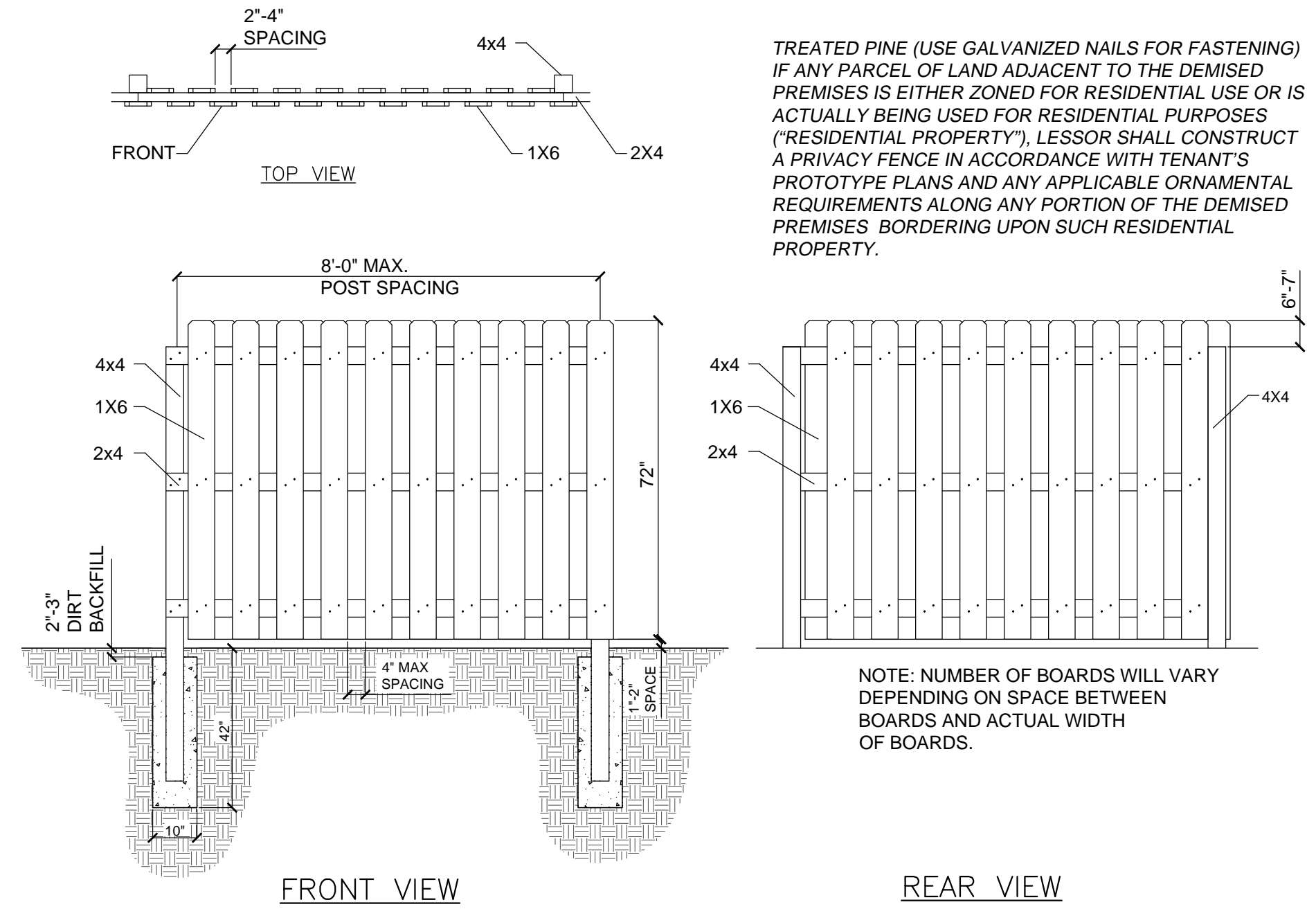


**Overland**  
 ENGINEERING, LLC  
 1598 IMPERIAL CIR., STE. 2009 WEST PLAINS, MO 65775  
 PHONE: (417) 296-8100 FAX: (417) 296-8152  
 russ@overlandeng.com

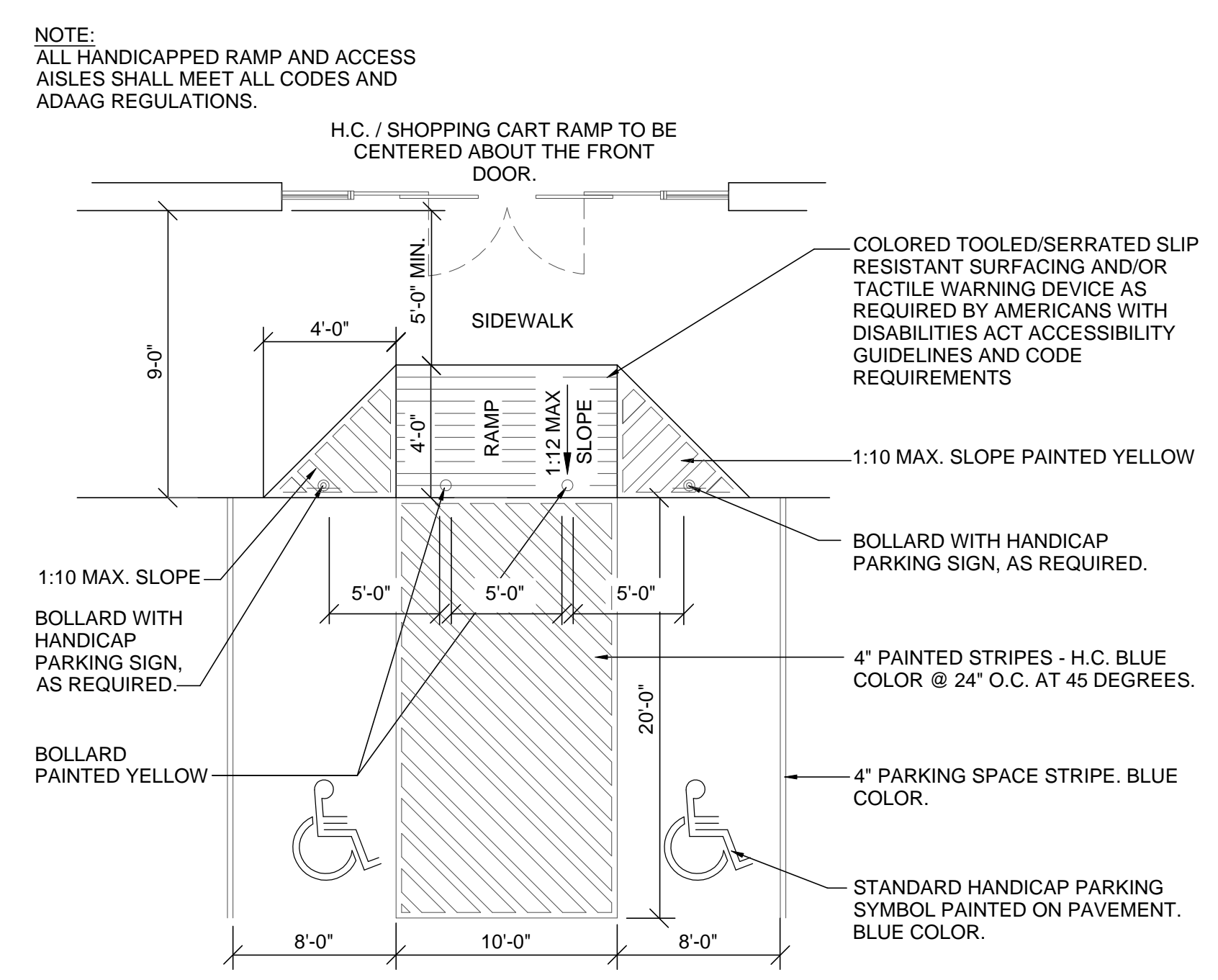
DOLLAR GENERAL  
 HARVEY, MICHIGAN  
 SITE UTILITY DETAILS



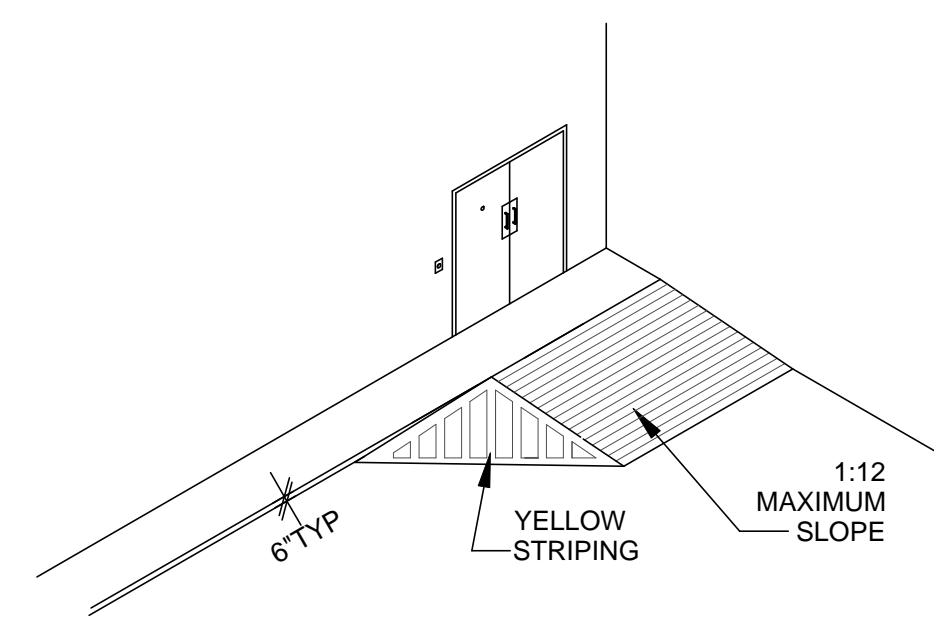
**BOLLARD DETAIL**  
NOT TO SCALE



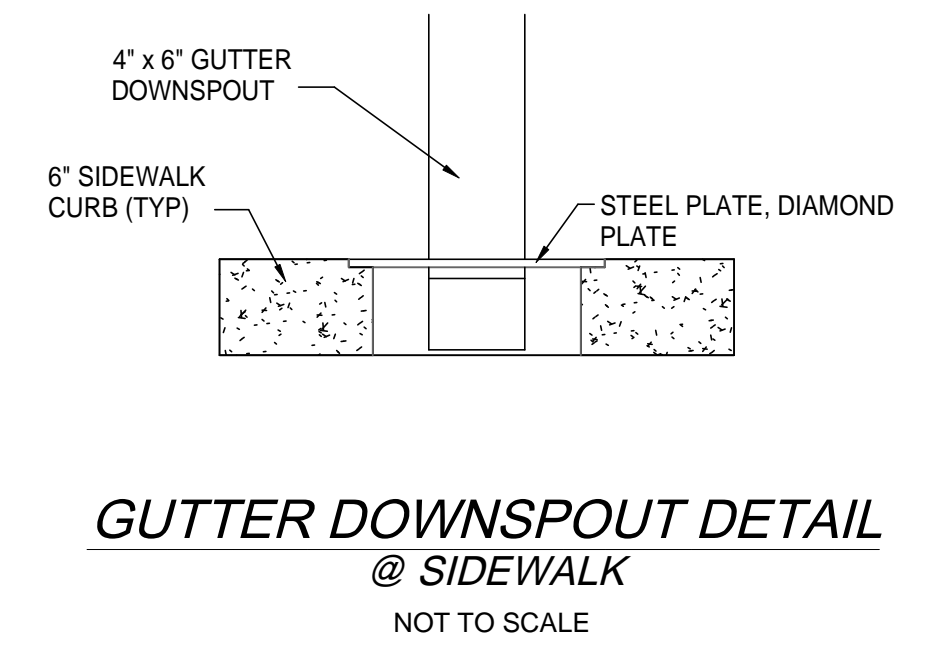
**WOOD FENCE DETAIL**  
NOT TO SCALE



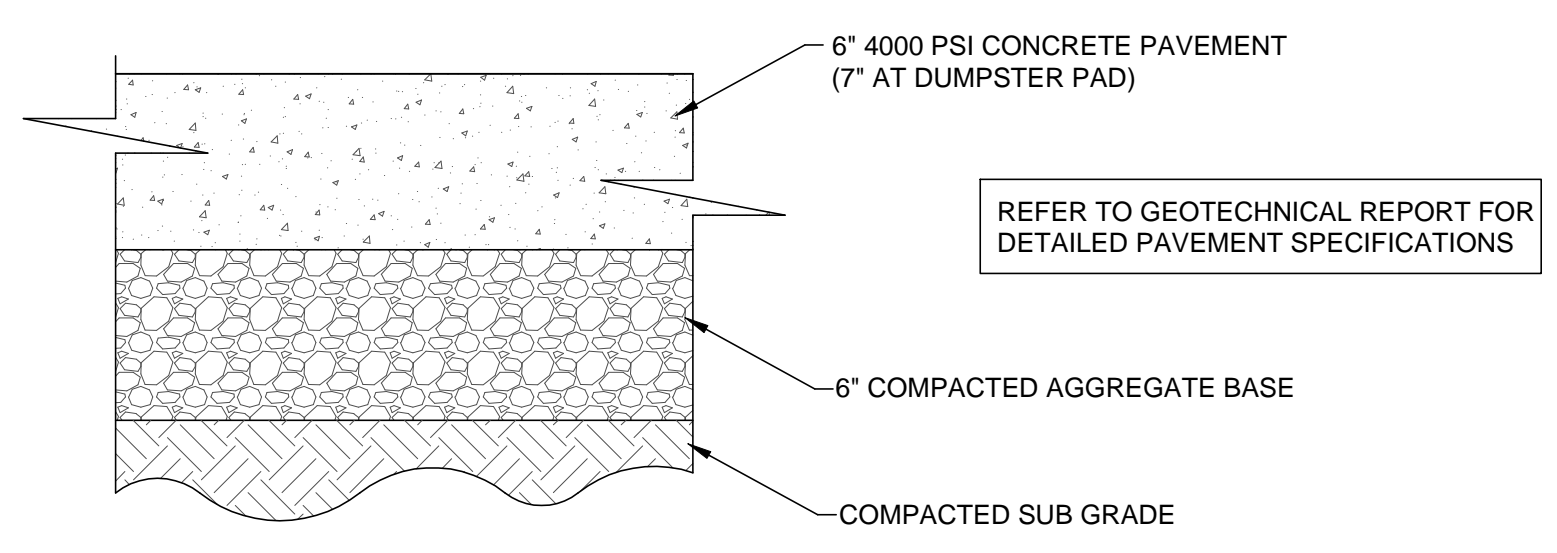
**FRONT ENTRY PLAN**  
NOT TO SCALE



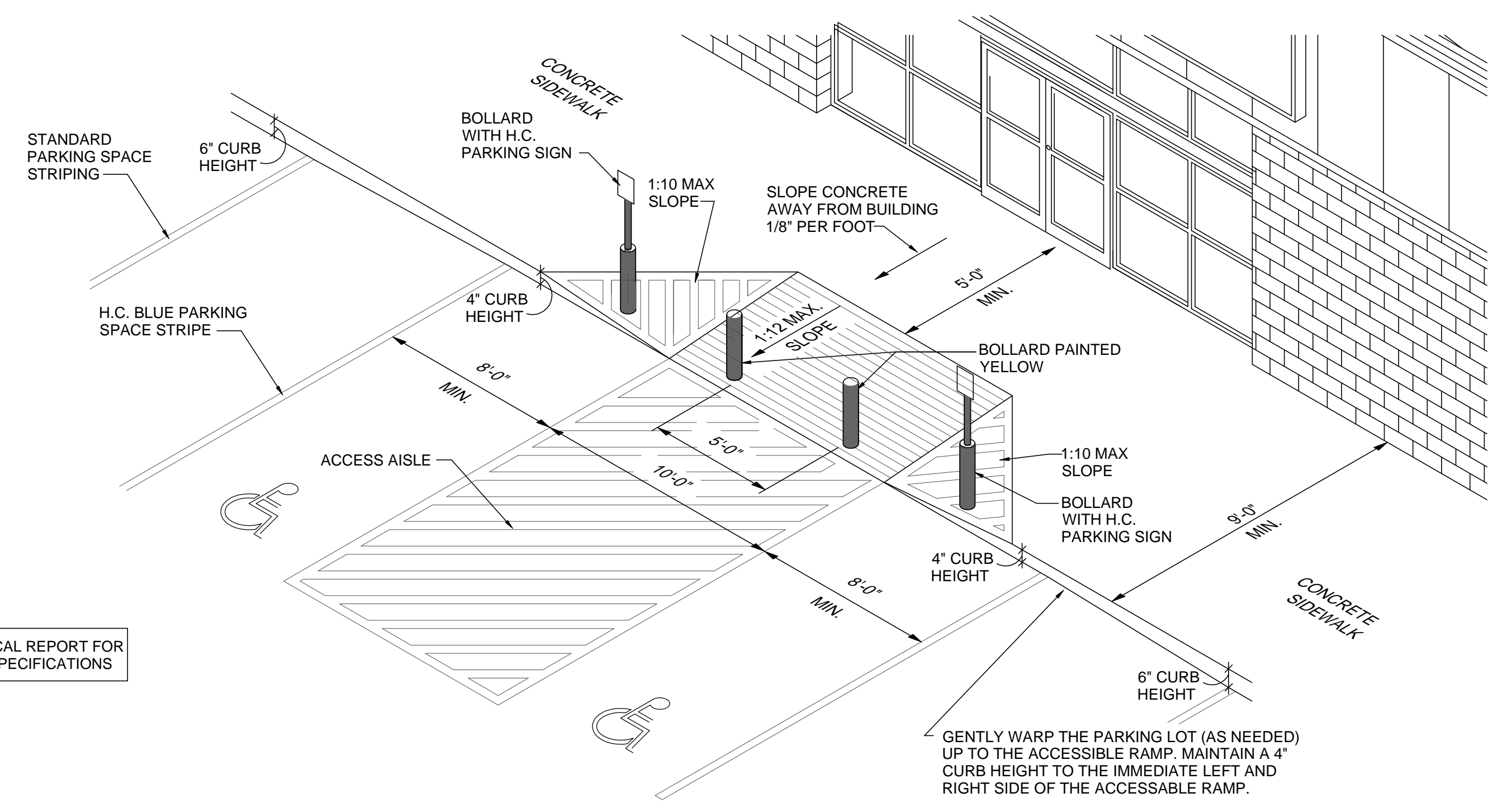
**SIDE ENTRY DETAIL**  
NOT TO SCALE



**GUTTER DOWNSPOUT DETAIL @ SIDEWALK**  
NOT TO SCALE



**CONCRETE PAVEMENT SECTION**  
NOT TO SCALE



**FRONT ENTRY ISOMETRIC**  
NOT TO SCALE

**STRIPING NOTES**

**YELLOW CURBING AND BOLLARDS** SURFACES SHOULD BE CLEAN, DRY AND METAL SURFACES FREE OF HEAVY RUST 2 COATS SHERWIN WILLIAMS - KEM 4000 ACRYLIC ALKYD ENAMEL SAFETY YELLOW B55Y300

**STRIPING - PARKING LOT** SURFACES SHOULD BE CLEAN, DRY. TOP COAT SHERWIN WILLIAMS - PROMAR TRAFFIC MARKING PAINT YELLOW TM5495

**HANDICAP STRIPING - PARKING LOT** SURFACES SHOULD BE CLEAN, DRY. TOP COAT SHERWIN WILLIAMS - PROMAR TRAFFIC MARKING PAINT "H.C." BLUE

NO.	DATE	DESCRIPTION	BY



# SITE PLAN REVIEW CHECKLIST

## Required Elements

Location \_\_\_\_\_ Project \_\_\_\_\_

Plan Item Found				Item Description
Yes	No	N/A	Plan Sheet Number	
<b>Project Information</b>				
				Project name
				Project location
				Project description
				Vicinity map of the project
<b>Plan Preparer Information</b>				
				Date of preparation or revision
				Name and address of the preparer – must be a registered engineer, land surveyor, landscape architect, community planner, architect, or related professional
				Scale not greater than one inch equals twenty feet, nor less than one inch equals 200 feet
				Drawing is easily interpreted
<b>Property Dimensions and Legal Information</b>				
				Property owner(s), developer(s) and designer(s)
				Dimensions and number of proposed lots
				Locations and dimensions of property lines and structure setbacks
				Easements, if any
				Scale and north point
				Property legal description(s)





Plan Item Found				Item Description
Yes	No	N/A	Plan Sheet Number	
<b>Property Access</b>				
				Street right-of-ways, indicating proposed access routes, internal circulation, relationship to existing rights-of ways, and curb cuts within one hundred feet of the property
				Neighboring driveways and other vehicular circulation features within and adjacent properties, including turn lanes
<b>Existing Structure Locations</b>				
				Location of existing man-made features
				Locations of existing buildings or structures within one hundred feet of the boundaries of the property
				Locations, heights, area and dimension of existing buildings and structures
				Location of existing trash collection, outdoor storage, service and loading areas
<b>Proposed Structure Locations</b>				
				Dwelling units per acre
				Floor area of each proposed dwelling unit
				Location of proposed trash collection, outdoor storage, service and loading areas
				Locations, heights, area and dimension of proposed buildings and structures
				Proposed sidewalks, trails, roads, and other vehicle and pedestrian circulation within or adjacent to the site



Plan Item Found				Item Description
Yes	No	N/A	Plan Sheet Number	
<b>Parking</b>				
				Proposed parking and unloading areas and drives – designated by lines showing individual spaces and show all elements applicable to required parking calculations per Section 8 of the zoning ordinance, such as number of dwelling units, number of occupants, number of rooms, floor area, floor space, seating capacity, area of outdoor sales space or other applicable element
				Proposed driveways and roads
				Off-site parking
<b>Landscape and Utilities</b>				
				Significant natural features, and other natural characteristics, including but not limited to open space, stands of trees, brooks, ponds, creeks, rivers (Chocolay and Sands), flood plains, hills, slopes over 25% and similar natural assets
				Existing and proposed topography of the size at a minimum of two foot intervals and its relationship to adjoining land
				Proposed grading or fill
				Existing location, sizes, and type of drainage, sanitary sewers, water services, storm sewers, fire hydrants and snow storage area
				Location, sizes, and type of fences, landscaping, buffer strips, and screening
				Proposed connections to existing utilities and proposed utility extension(s)
				Proposed snow storage areas



Plan Item Found				Item Description
Yes	No	N/A	Plan Sheet Number	
				Proposed alterations to the topography and other natural features
				County soil analysis
				Soil erosion and sediment control measures
<b>Groundwater Protection</b>				
				Location and size of interior and exterior areas and structures to be used for storage, use, loading / unloading, recycling, or disposal of hazardous materials
				Location of all underground and above ground storage tanks for such uses as fuel storage, waste oil holding tanks, chemical storage, hazardous waste storage, collection of contaminated stormwater or wash water and other similar uses
				Location of exterior and interior drains, on-site sewage systems, dry wells, catch basins, retention / detention areas, sumps or other facilities designed to collect, store or transport stormwater or wastewater – point of discharge is shown on the site plan
				Location of water wells on the site and within 150 feet surrounding the project boundaries
				Location of septic systems and related drain fields on the site
<b>Lighting</b>				
				Description of each illumination device, luminaire, support, reflector, timing device, and other device (such as style, manufacturer’s part number, wattage, lumens, type of bulb, photometric data)
				Manufacturer specifications including photographs of the fixtures indicating certified “cut off” characteristics



Plan Item Found				Item Description
Yes	No	N/A	Plan Sheet Number	
				Proposed location, mounting height, mounting angle, direction, and hours of illumination of each outdoor light fixture (new and existing), including distance from property lines
<b>Additional Information or Documents</b>				
				Additional Township permit requirements
				Other agency permit requirements
				Any other information required by applicable sections of the Zoning Ordinance

**Comments**

Reviewed by \_\_\_\_\_ Review Date \_\_\_\_\_





**Charter Township of Chocolay**

**Planning and Zoning Department**

5010 US 41South

Marquette, MI 49855

Phone: 906-249-1448

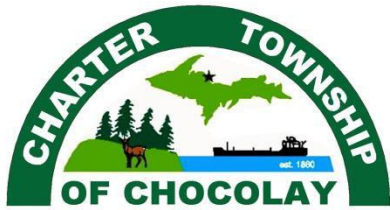
Fax: 906-249-1313

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**Agenda Item: VIII.B Proposed 2024 Planning Commission Meeting Dates**

**Suggested Motion**

\_\_\_\_\_moved, \_\_\_\_\_seconded, that the meeting dates proposed for 2024 Planning Commission meetings be accepted as [presented / changed].



## Charter Township of Chocolay

Planning and Zoning Department

5010 US 41 South

Marquette, MI 49855

Phone: 906-249-1448

Fax: 906-249-1313

**Issue Brief:** Proposed 2024 Planning Commission Meeting Dates

**Meeting: Planning Commission Meeting**

**Date: December 18, 2024**

### Issue Summary

Planning Commission review of proposed meeting dates for 2024.

### Background

Each year the Planning Commission reviews meeting dates for the next calendar year; the dates are submitted to the Board for approval. Generally, the Planning Commission meets on the third Monday of the month unless the day was a holiday or fell within a holiday week.

According to section 125.3821, section 21.1 of the Planning Enabling Act:

“(1) A planning commission shall hold not less than 4 regular meetings each year, and by resolution shall determine the time and place of the meetings.”

### Staff Research

Staff has reviewed the calendar for 2024 to find the third Monday of the month as the proposed Planning Commission meeting date:

Dates found are:

January 15	July 15
February 12 (5:30 PM) joint with the Board	August 19 (5:30 PM) joint with the Board
February 12 (7:00 PM) regular meeting	August 19 (7:00 PM) regular meeting
March 18	September 16
April 15	October 21
May 20	November 18
June 17	December 16

### Notes

There will be two joint meetings with the Township Board: February 12 and August 19. The joint meeting begins at 5:30 PM. The regular Planning Commission meeting will follow at 7 PM.

### Staff Recommendations for Commissioner Discussion

Staff is recommending the Planning Commission members review the dates as listed to determine if the dates are acceptable for Planning Commission meetings or if a date or dates should be changed.

---

Author: Dale Throenle

Date: December 5, 2023



November 13, 2023

The regular meeting of the Chocolay Township Board was held on Monday, November 13, 2023, in the Chocolay Township Fire Hall. Supervisor Bohjanen called the meeting to order at 5:30 p.m.

PLEDGE OF ALLEGIANCE.

TOWNSHIP BOARD.

PRESENT: Richard Bohjanen, Max Engle, David Lynch, Judy White, Don Rhein

ABSENT: Ben Zyburt (excused), Kendra Symbal

STAFF PRESENT: William De Groot, Suzanne Sundell

APPROVAL OF AGENDA.

Rhein moved, Lynch supported to approve the agenda as presented.

MOTION CARRIED

PUBLIC COMMENT

Ann LaChance, 1891 M-28 East – concerned about a zoning issue on residential property near her. Lots of truck traffic and hauling of large boulders – property appears to be being used as a storage / contractor yard. She had already spoke with the Zoning Administrator and just wanted the Board to be aware of what’s going on out there.

CONSENT AGENDA

- A. Approve Minutes of Previous Meeting – Regular Meeting October 9, 2023.
- B. Approve Revenue and Expenditure Reports – October 2023.
- C. Approve Bills Payable, Check Register Reports – October 12, 2023 (Check #26416 – 24639, in the amount of \$16,581.60) and October 25, 2023 (Check # 26440 – 26474, in the amount of \$145,384.14).
- D. Approve Bills Payable – Regular Payroll of October 12, 2023 (Check #'s DD3645 – DD3681 and Check #'s 11423 – 11428, Federal, State, and MERS in the amount of \$47,652.82) and Regular Payroll of October 26, 2023 (Check #'s DD3682 – DD3712 and Check #'s 11429 – 11434, Federal State, and MERS in the amount of \$49,411.74).

Rhein moved, White supported to approve the consent agenda as presented.

MOTION CARRIED

SUPERVISOR’S REPORT

Supervisor Bohjanen reported that the temporary assessing help and project has been brought to completion. The Township is on schedule with assessments. He also read a card from San Diego, CA that had been received regarding the signs on M-28 East.

CLERK'S REPORT

Clerk Engle reported that the Presidential Primary will be held on February 27, 2024, as the legislature adjourned on November 14, 2023. This also puts into place other provisions of Proposal 2022-2 regarding things such as Early Voting.

TREASURER'S REPORT - NONE

PUBLIC HEARING – PUBLIC HEARING FOR THE DRAFT FISCAL YEAR 2024 TOWNSHIP BUDGET

Public Hearing opened at 5:40 p.m.

Township Manager De Groot went over the process of assembling a budget including the department input on their expenditures for the coming year, the manager's input on where the revenue is expected to come from, grant opportunities, etc. This is approximately a 2-month process. He normally tries to build a budget with expenses, figure out which capital opportunities are requested for the coming year, and then look at revenue sources. The budget adherence process – once approved it then is loaded into our BS&A accounting software and distributed to our department heads.

White felt this was a good overview – the Board agreed.

Public Hearing Closed at 5:50 pm.

PRESENTATIONS – NONE

2024 DRAFT BUDGET BOARD REVIEW

Supervisor Bohjanen asked if there were any comment from the Board.

Manager De Groot also reported to the Board that a few numbers may be changing – will need to increase the budget for our health insurance benefit program – primarily the third-party health reimbursement. There has also been an added expense in the Police Department due to State audit findings, so another \$10,000 will need to be added for cybersecurity software and monitoring.

The General Appropriations Act for approval of the budget will be brought to the Board at the December meeting.

CONSIDER APPLICATION FOR THE MICHIGAN COASTAL GRANT FOR MARINA PARK FUNDING

**EGLE'S MICHIGAN COASTAL MANAGEMENT PROGRAM GRANT PROGRAM  
RESOLUTION APPROVING SUBMISSION OF WATER RESOURCES DIVISION GRANT APPLICATION  
FOR RIVER ACCESS PARK IMPROVEMENTS**

White moved, Rhein supported that:



**WHEREAS**, the developed portion of the park needs improvements, and  
**WHEREAS**, the undeveloped portion of the park is both underutilized and subject to coastal impacts, and  
**WHEREAS**, funding is available from the U.S. Department of Commerce through the Water Resources Division, and  
**WHEREAS**, Total project cost is estimated to be \$298,000, 50 percent of which would be funded through the Water Resources Division and 50 percent would be local match;  
**NOW THEREFORE, BE IT RESOLVED** that the Chocolay Township Board hereby authorizes submission of the grant application to the Water Resources Division in the amount of \$149,000 for phased improvements to River Access Park and commits that the local match shall be provided if the project is funded.

AYES: Rhein, White, Lynch, Engle, Bohjanen  
NAYS: None  
ABSENT: Zyburt, Symbal  
RESOLUTION APPROVED.

I HEREBY CERTIFY, that the foregoing is a Resolution duly made and passed by the Chocolay Township Board of Trustees at their regular meeting held on November 13<sup>th</sup>, 2023 at 5:30p.m. in the Chocolay Township Fire Hall, with a quorum present.

\_\_\_\_\_  
Max L Engle, Township Clerk

\_\_\_\_\_  
Date

**CONSIDER FOIA POLICY AND SUMMARY UPDATES**

Lynch moved, White supported to adopt the proposed revisions to the Chocolay Township FOIA Procedures and Guidelines and the Public Summary thereof for compliance with the amendments to the Michigan Freedom of Information Act, include correcting the website address from chocolay.org to chocolay.gov.

MOTION CARRIED

Supervisor Bohjanen questioned if there could be a one-page how to for the public so they would know what to do to request information. Clerk Engle indicated he would work on this.

**CONSIDER OPEN LETTER TO MTA FOR ANNUAL REVIEW OF MTA POLICY PRIORITIES PLATFORM**

Supervisor Bohjanen prepared a letter for Board review and consent to be submitted to MTA encouraging the State to fund environmental policy, rather than creating statewide unfunded mandates for environmental issues and the funding of PFOS research.

Rhein moved, Lynch supported to approve the submittal of the letter to MTA for their annual meeting discussion.

MOTION CARRIED

CONSIDER THREE YEAR ANNUAL MAINTENANCE CONTRACT FOR THE LIFT STATIONS EMERGENCY GENERATORS THROUGH ORIGINAL VENDOR WOLVERINE POWER SYSTEMS

Lynch moved, Engle supported that the Board authorize the Township Manager to enter into a three-year maintenance contract with Wolverine Power Systems for the maintenance of the Township standby generators at all of the sewer lift stations.

MOTION CARRIED

REVIEW AND CONSIDER ANNUAL SEWER DELINQUENT BILLING LIST

White moved, Rhein supported to accept the list of delinquent sewer charges and penalties as allowed in Ordinance 39, Division 6, 2.6.6 (B) (3) to be added to the Chocolay Township December tax roll.

ROLL CALL VOTE

AYES: Rhein, White, Lynch, Engle, Bohjanen

NAYS: None

ABSENT: Zyburt, Symbal

MANAGER UPDATE FOR THE SEWER AND BUDGET

Sewer – the sewer project is finally done and paid for. The Township had a final meeting with Oberstar and presented the final payment. We are currently 2 – 3 years in on warranties.

Budget – will be finalizing the numbers over the next couple of weeks for final approval at the December meeting. Staff will also be bringing some budget amendments for 2023 to the Board at the next meeting.

Information on property that was brought up in Public Comment earlier –

Staff has been in communication with the property owner and the Army Corps of Engineers is allowing the use of boulders on M-28 properties. This property is also somehow being used as a temporary storage. The Township is still investigating.

Discussion on things going on at the casino – all the land is in tribal trust so the Township is not able to regulate. The Iron Ore Heritage Trail has been approved to extend to Lakenenland, a portion of that will go over tribal land so the IOHT will need approval.

BOARD MEMBER COMMENTS

Don Rhein – reported that the Town Hall meetings were successful with a good turnout. There was lots of feedback, and he feels it was good for the community.

Kendra Symbal – Absent

Judy White – Was happy that the Town Hall meetings were successful and that there is community input.

Dave Lynch – None

Ben Zyburt – Absent

Max Engle – None

Richard Bohjanen – None

PUBLIC COMMENT - NONE

Lynch moved, Rhein supported that the meeting be adjourned.

MOTION CARRIED

The meeting was adjourned at 6:21 p.m.

INFORMATIONAL REPORTS AND COMMUNICATIONS.

- A. Minutes – Chocolay Township Planning Commission; Public Work Session October 10, 2023, Draft.
- B. Minutes – Chocolay Township Planning Commission; Public Work Session of October 17, 2023, Draft.
- C. Minutes - Marquette County Solid Waste Management Authority, Regular Meeting of September 20, 2023, Draft.
- D. Minutes – Marquette County Solid Waste Management Authority, Special Meeting of October 5, 2023, Draft.
- E. Minutes – Marquette County Solid Waste Management Authority, Special Meeting of October 10, 2023, Draft.
- F. Information – Chocolay Township Newsletter – October 2023.

\_\_\_\_\_  
Max Engle, Clerk

\_\_\_\_\_  
Richard Bohjanen, Supervisor

## CHOCOLAY TOWNSHIP NEWSLETTER

November 2023

### DEPARTMENT REPORTS

#### Assessing

**By John Gehres**

The December Board of Review has been cancelled as the legislature has given assessor's the power to grant veterans exemptions and principal residence exemptions. Those were normally what we had to correct at those meetings. I am currently working on the E.C.F. and land value studies. Also, this time of year is spent finalizing what percentage of completion the new construction is for the 2024 roll.

#### Clerk

**By Lisa Perry**

The Presidential Primary will be held on Tuesday, February 27, 2024. There are many changes with the passing of 22-2 in November of 2022 that will be implemented. A letter will be sent to registered voters in mid-December explaining the changes and also informing voters about Early Voting. Please watch for that letter and if there are any questions, feel free to contact me at the Township office.

Absentee ballot applications will be mailed the end of December, if you are a "snowbird" and will not be at your Chocolay Township address, please call me at the office to advise me of your winter address as election mail will not be forwarded by the post office. This will help save time and postage.

Please remember if you are new to Chocolay or moving to another location in Michigan, to change your driver's license, this will alert your new and former jurisdiction of your location

change. To check your voting registration status or find voter information, please go

<https://mvic.sos.state.mi.us/>

#### Fire Department

**By Lee Gould**

The fire department call volume for November was slow. This is not abnormal for this month, especially when the weather is warmer. We generally see an uptick in calls for December. With the cold season, we are focusing our training on ice and snowmobile and structure fire training as those call types increase in winter months.

#### Public Works

**By Brad Johnson**

I have been working with the Townships Attorney and the KBIC on finalizing the easement work for ownership of lift station 9. Smith Contracting has scheduled the start up for tentative December 8. Once startup happens, they will start tying the houses into the system. This additional flow should help any odor issues at the M28 stations by preventing the stations' wet wells from going stagnant.

We haven't groomed the cross-country ski trail in many years due to the State clear cutting that area. The trees are starting to get big enough where they should help hold the snow in place rather than be blown away and causing drifts, so we are going to attempt to groom the trails out there this year.

The hockey rink is ready to go once the weather cooperates and stays a little colder.



The siding project is nearing completion and we have had many compliments on the color. We will be staining the DPW/Police garage next summer.

The Marquette County Road Commission is planning to mill and repave Cherry Creek Road from Fraco to County Road 480. This project is scheduled for 2025 and the completion date will be before schools starts in the fall and the traffic will be controlled by flaggers.

## Planning / Zoning

### By Dale Throenle Technology

This is a reminder that there is a new website for the Township; the Township has switched from [chocolay.org](http://chocolay.org) to [chocolay.gov](http://chocolay.gov) with this new site. The new website is also mobile-device ready.

All email addresses for the Township staff and officials have a new extension; all have changed from [@chocolay.org](mailto:@chocolay.org) to [@chocolay.gov](mailto:@chocolay.gov). You can send your email either to the old address or the new; both will be received.

Check out the new site and let us know what you think. You can send comments regarding the site to [publiccomments@chocolay.gov](mailto:publiccomments@chocolay.gov) or let us know at the office front counter.

### Planning Commission

The Planning Commissioners participated in a regular meeting on November 20 in the Township Fire Hall.

There were two items on the agenda:

#### Old Business

##### 1) Draft Ordinance Considerations for the Agriculture / Forestry (AF) District Work Sessions

Commissioners discussed the work sessions and the discussions at the work sessions. Commissioners outlined zoning sections within the

current AF zoning district that will result in the new zoning districts listed as AG 1, AG 2, and AG3. The Commissioners instructed staff to bring a draft map of the proposed districts to the next meeting.

#### New Business

##### 1) Housing Discussion

Commissioners began discussing housing options for the Township. The discussion primarily focused on accessory dwelling units, their types, and the possible locations in the Township.

The next Planning Commission meeting is scheduled for **December 18 at 6 PM** in the Township Fire Hall.

### Zoning Board of Appeals

The Zoning Board of Appeals did not meet for its regular meeting in November and will not meet in December.

## Police

### By Liz Norris-Harr

This month Officer Harvala and Officer Mitchell completed their radar/lidar training allowing them to run traffic speed.

Sgt Carrick and Officer Mitchell attended a school lock down drill at Cherry Creek School with their staff and school resource officer. This was an excellent opportunity to make sure everyone is acting quickly and together with each other in case of an emergency.

Sgt Carrick rang the Salvation Army bell outside of Lofaro's Food Market over Thanksgiving weekend.

The police department teamed up with 906 Firearms and distributed 15 turkeys throughout the community for Thanksgiving. The recipients included residents, the women's shelter and Silver Creek Church.



## Prescription Drug Collection

Prescription drug collection through the drop-off box at the Township Police Station.

Month 2019	Jan	Feb	Mar	Apr	May	June	July	Aug	Sep	Oct	Nov	Dec
Pounds To-Date	5.5	4	8.5	7	2.5	6.5	12	6.5	5	5.5	3	
<b>Pounds Year To-Date</b>	<b>5.5</b>	<b>9.5</b>	<b>18</b>	<b>25</b>	<b>27.5</b>	<b>34</b>	<b>46</b>	<b>52.5</b>	<b>57.5</b>	<b>63</b>	<b>66</b>	

## FOIA

REQ #	Date Rec	Res by Date	Invoice Sent	48 Days Invoice	10 day Ext Sent	10 day Ext	Response Date	Link to Documentation	Description	First Name	Last Name
23-1	2/6/2023	2/10/2023					2/7/2023	<a href="#">23-1Glendon</a>	Police Reports	Jessica	Glendon
23-2	2/15/2023	2/21/2023					2/15/2023	<a href="#">23-2Dankin</a>	Police Reports		Ferrell
23-3	2/24/2023	3/3/2023					2/28/2023	<a href="#">23-3Skyline Lein Search 02.24.23</a>	Property Information	Skyline Lien Search	
23-4	3/6/2023	3/10/2023					3/10/2023	<a href="#">23-4Hyde 03.06.23</a>	Police Reports	George	Hyde
23-5	3/14/2023	3/20/2023					3/17/2023	<a href="#">23-5Mulcahey 3-14-23</a>	Job descriptions	Deborah	Mulcahey
23-6	3/14/2023	3/20/2023					3/16/2023	<a href="#">23-6McLaughlin 3-14-23</a>	Police Reports	Michelle	Philips
23-7	3/17/2023	3/24/2023					3/21/2023	<a href="#">23-7Brjoser Request 3-17-23</a>	Police Reports	Nicole	Brosier
23-8	3/20/2023	3/27/2023			03/24/2023	4/11/2023	4/5/2023	<a href="#">23-8Mulcahey request 3-20-23</a>	Job descriptions	Deborah	Mulcahey
23-9	3/14/2023	3/21/2023			03/21/2023	4/4/2023	3/23/2023	<a href="#">23-9Metropolitan request 3-14-23</a>	Fire Report	Metropolitan	Reporting Bureau
23-10	4/5/2023	4/12/2023					4/12/2023	<a href="#">23-10 Eric Riley-GFL Environmental</a>	Refuse/Recycle Information	Eric	Riley
23-11	4/12/2023	4/18/2023					4/18/2023	<a href="#">23-11 Carrie VanLandshoost 04.12.23</a>	Police Reports	Carrie	VanLandshoost
23-12	4/14/2023	4/21/2023					4/18/2023	<a href="#">23-12 Tomnis Request 4-14-23</a>	Contracts and accounts receivable	Angel	Tomnis/ Steep Steel
23-13	4/19/2023	4/25/2023					4/19/2023	<a href="#">23-13 Ryan Talbot-Figstar Bank 4-19-23</a>	Police Reports	Ryan	Talbot/ Figstar Bank
23-14	4/25/2023	5/2/2023	5/10/2023	6/27/2023	04/25/2023	5/16/2023	Expired	<a href="#">23-14 Miller request 4-25-23</a>	Election Materials	Yehuda	Miller
23-15	5/3/2023	5/9/2023					5/8/2023	<a href="#">23-15 Nicole Borek-Curran &amp; Co 05.03.23</a>	Police Reports	Nicole	Bozek/Curran & Co.
23-16	5/4/2023	5/10/2023					5/8/2023	<a href="#">23-16 Lombard 05.04.23</a>	Police Reports	Kristen	Lombard
23-17	5/17/2023	5/24/2023					5/24/2023	<a href="#">23-17 Cass 05.17.23</a>	Police Reports	Cheyenne	Cass
23-18	6/6/2023	6/13/2023					6/6/2023	<a href="#">23-18 Holm 6-6-23</a>	Police Reports dog bite	Cathy	Holm
23-19	6/13/2023	6/19/2023					6/19/2023	<a href="#">23-19 Harry 6-13-23</a>	Police Reports	Susan	Harry
23-20	6/22/2023	6/28/2023					6/27/2023	<a href="#">23-20 Roose 6-22-23</a>	Police Reports	Erica	Roose
23-21	6/27/2023	7/3/2023	6/27/2023	8/24/2023			cancelled	<a href="#">23-21 Miller 6-27-23</a>	Election Materials	Yehuda	Miller
23-22	7/13/2023	7/19/2023					7/14/2023	<a href="#">23-22 Johnson 7-13-23</a>	Police Reports	Brad	Johnson
23-23	7/21/2023	7/27/2023					7/24/2023	<a href="#">23-23 Mulcahey 7-21-23</a>	Rental Registrations	Deborah	Mulcahey
23-24	7/24/2023	7/31/2023					7/27/2023	<a href="#">23-24 Barnes and Thornburg, LLP 7-24-23</a>	Fire Report	Barnes & Thornburg, LLP	
23-25	8/9/2023	8/16/2023					8/9/2023	<a href="#">23-25 Miller 2020-2025 Elections Request 8-9-23</a>	Election Materials	Yehuda	Miller
23-26	8/16/2023	8/22/2023					8/17/2023	<a href="#">23-26 Sauer 08-16-23</a>	Police Reports	Emily	Sauer
23-27	10/4/2023	10/10/2023					10/10/2023	<a href="#">23-27 Brugman 10-04-23</a>	Police Reports	James	Brugman
23-28	10/17/2023	10/23/2023					10/20/2023	<a href="#">23-28 Mulcahey 10-17-23</a>	FOIA documentation	Deborah	Mulcahey
23-29	10/19/2023	10/25/2023					10/23/2023	<a href="#">23-29 Reynolds 10-19-23</a>	Police Reports	Brenda	Reynolds
23-30	10/19/2023	10/25/2023					11/8/2023	<a href="#">23-30 Mulcahey 10-19-23</a>	Zoning Permits	Deborah	Mulcahey
23-31	10/24/2023	10/30/2023					10/23/2023	<a href="#">23-31 Mulcahey 10-24-23</a>	Police Reports	Deborah	Mulcahey
23-32	11/14/2023	11/20/2023					11/17/2023	<a href="#">23-32 Mulcahey 11-14-23</a>	Property Information	Deborah	Mulcahey
23-33	11/28/2023	12/5/2023					11/28/2023	<a href="#">23-33 Nye 11-28-23</a>	Payer contracts	Annie	Nye
23-34	11/30/2023	12/8/2023					12/1/2023	<a href="#">23-34 Mulcahey 12-1-23</a>	Charter	Deborah	Mulcahey

## Web Page Statistics

Starting this month, web page statistics will have a new format. The categories that will be reported are the number of sessions (single user visitor to the website), number of page views (number of pages visited), and top ten pages visited.

### Sessions and Page Views

Year to date totals through November are shown in the table

Month	Sessions	Page Views
November	1,689	4,193
<b>Totals</b>	<b>1,689</b>	<b>4,193</b>
<b>Averages</b>	<b>1,689</b>	<b>4,193</b>



### Sessions and Page Views

Year to date total through November are shown in the table.

Page	Count
Main Page with Announcements	1,382
Meeting Minutes	200
Township Board	184
Contact Form	143
Information	126
General Government	109
Township Directory	104
Planning Commission	98
Planning and Zoning	81
Recycling	80

### Zoning Permit Counts

Zoning permit counts through October, 2023:

2023 Reviewed Permits by Month		2023 Reviewed Permits by Type		
Month	Number of Permits	Permit Type	Approved Number	Denied Number
January	0	Addition	5	0
February	0	Alteration	0	0
March	6	Commercial Outbuilding	0	0
April	11	Conditional Use	2	0
May	11	Deck	3	0
June	9	Fence	18	0
July	15	Garage	7	0
August	6	Grading	0	0
September	9	Home	4	0
October	6	Home / Garage	2	0
November	2	Home Occupation	1	0
		New Commercial	1	0



2023 Reviewed Permits by Month		2023 Reviewed Permits by Type		
			Approved	Denied
		Outbuilding	20	0
		Pole Building	2	0
		Rezoning Application	1	0
		Sign	7	0
		Site Plan Review	2	0
		Zoning Variance Request	0	0
<b>Total</b>	<b>75</b>	<b>Total</b>	<b>75</b>	<b>0</b>

